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BEDDIS WATER SERVICE COMMISSION

Notice of Meeting on **Thursday, February 28, 2019 at 10:00 am**
Creekside Meeting Room, Suite 108 121 McPhillips Ave, Salt Spring Island, BC

Gary Holman

Simon Wheeler

Ruth Waldick

Geoff Bartol

Doreen Hewitt

AGENDA

1. Election of Chair

2. Approval of Agenda

3. Adoption of the Minutes of October 11, 2018

3-5

4. Chair and Director Reports

5. New Business

6. Outstanding Business

6.1 Beddis Water Service – Additional Water Quality Monitoring

6-8

That the Commission not approve the additional monitoring components in the Water Quality Monitoring Program.

6.2 Request To Purchase CRD Land

9-14

That the Beddis Water Service Commission recommends that the Electoral Area Services Committee recommend to the Capital Regional District Board:

To direct staff to dispose of the land on Salt Spring Island described as Lot B, Section 76, South Salt Spring Island, Cowichan District, Plan 17642, PID 003-961-729 (Lot B), through a land sale to the adjoining land owner in accordance with the Local Government Act and established CRD policies and procedures for disposing of CRD land, with the following conditions:

1. that the Chief Administrative Officer will respond to the Jacques' lawyer advising them of the disposition process,
2. that the value of Lot B be based on a market appraisal;
3. that Lot B will be consolidated with the adjoining Lot A, Section 76, South Salt Spring Island, Cowichan District Plan 17642,
4. that the purchaser pay for an appraisal; and
5. that staff will confirm that the waterworks have been appropriately abandoned,
6. that the Chief Administrative Officer be authorized to negotiate, execute and do all things incidental to finalizing the sale.

6.3 Islands Trust Referral: Bylaw 512 – Affordable Rental Housing Cottages Project

To ensure quorum, advise Tracey Shaver 250 537 4448 if you cannot attend.

EXEC-1295039085-1847

- 6.4 Emergency Preparedness- Verbal Report- Commissioner Wheeler**
- 7. Next Meeting- AGM in April –To be announced**
- 8. Adjournment**



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Minutes of the Meeting of the Beddis Water Service Commission
Held October 11, 2018 at the Creekside Meeting Room, #108 121 McPhillips Ave Salt
Spring Island, BC

Present: **Director:** Wayne McIntyre
Commission Members: Simon Wheeler (Chair), Doreen Hewitt, Ruth Waldick
Staff: Karla Campbell, Senior Manager SSI Electoral Area; Dan Robson, Manager, Saanich Peninsula and Gulf Islands Operations; Peggy Dayton, Senior Financial Analyst; Chris Davidson, Manager Salt Spring Engineering; Jessica Dupuis, Water Quality Officer; Tracey Shaver, Recording Secretary
Absent: Geoff Bartol

The Chair called the meeting to order at 1:00 pm.

1. Approval of Agenda

MOVED by Director McIntyre, **SECONDED** by Commissioner Waldick,
That the Beddis Water Service Commission agenda of October 11, 2018 be approved.

CARRIED

2. Adoption of Minutes of June 4, 2018

MOVED by Commissioner Waldick, **SECONDED** by Director McIntyre,
That the Beddis Water Service Commission minutes of June 4, 2018 be approved.

CARRIED

3. Director, Chair and Commissioner Reports

3.1 Chair Wheeler commented on the July meeting with all the commissions and CRD CAO. Excessive workload for capital projects discussed and the 2019 budget will allow for additional engineering staff sometime after March to assist.

3.2 Commissioner Hewitt briefly reported on the raw water quality of Cusheon Lake:

- Lake level 92.386 MASL; little higher with beaver dam
- Secchi Disk reading to 6 metres, extremely clear
- Oxygen down to 7 metres

3.3 Director McIntyre briefly reported:

- SSIWPA Strategic Plan- reviewed responsibility & funding; potential for Water Authority
- CRD Grants in Aid- Marine Search and rescue “beacon”; Wagon Wheel Emergency Housing aid; Farmland Trust-Root Cellar fire suppression
- Ganges Sewer refurbishment project; on time and budget; Tom Toynbee-great storey from beginning of sewer plant using new (MBR) technology which is still relevant and now a proven system

- Capital Regional Housing Corporation: Michigan Square affordable housing project; new federal building code increasing construction costs by 20%, will be felt across region
- Destination Management and Marketing Organization approved by CRD Board; Support by 50% of SGI & SSI accommodation sector; 2% tax to be used to promote off season tourism
- Water Collection: Working with CRD Building inspection to develop a simple guide and design for rain water harvesting for tanks up to 3,000 gallons. Potential for bulk buying of tanks
- CRD Board completed 49 out of 51 strategic priorities; notable for progress with climate action and 1st Nations communications
- CRD Electric Vehicle/bikes project now to include the Electoral Areas.

4. Reports

4.1 Water Quality Monitoring Proposal for 2019

Staff worked with Commissioner Waldick to determine a testing protocol and then prepared a report with corresponding costs which was reviewed:

- Commissioner Waldick requesting that staff work with volunteers to reduce costs of courier services and sampling. Further review of costing.
- Communication with rate payers; how best to get feedback from rate payers regarding willingness to fund proposed additional water testing.
 - Correspondence to be prepared by Commissioner Waldick
 - Billing cycle to be used to keep costs down
 - Insert which rate payers can respond to
 - Commission to tally responses and determine direction

4.2 2019 Operating and Capital Budget

Staff report prepared for the 2019 Operating and Capital Budget was reviewed:

- Increase in operating budget for reservoir cleaning
- Safe worker procedures review and development project added to Capital Plan

MOVED by Commissioner Waldick, **SECONDED** by Commissioner Hewitt,
That the Beddis Water Service Commission:

1. Approve the 2019 operating and capital budget as presented, and that the 2018 actual surplus or deficit be balanced on the 2018 transfer to the Operating Reserve Fund;
2. Approve 2018 budget amendment for Capital Reserve Funding in the amount of \$7,340 for water treatment facility booster pump replacement; and,
3. Recommend that the Electoral Area Services Committee recommend that the CRD Board approve the 2019 Operating and Capital Budget and the five year Financial Plan for the Beddis Water Service as presented.

CARRIED

5. **New Business- none**

6. **Outstanding Business**

6.1 **Request to Purchase CRD land**

Staff have not been to site to investigate; will report as soon as possible.

6.2 **Blackburn Road Landfill Closure 1991 – Leache Monitoring**

Staff have confirmed that this issue is still under dispute between the Ministry of Environment and the CRD over responsibility for long term monitoring.

6.3 **Tree removal, corner of Creekside Drive/Hillview Place, June 2018**

Staff reviewed standard procedures with emergent repairs to water main. Misunderstanding with the level of service to be provided to property owner adjacent to right of way where tree removal was necessary.

7. **Adjournment**

MOVED by Commissioner Wheeler, **SECONDED** by Commissioner Waldick,
That the meeting be adjourned at 2:45 pm.

CHAIR

SENIOR MANAGER



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REPORT TO BEDDIS WATER SERVICE COMMISSION MEETING OF THURSDAY, FEBRUARY 28, 2019

SUBJECT **Beddis Water Service – Additional Water Quality Monitoring**

ISSUE

The Beddis Water Service Commission has requested a proposal for additional monitoring services in response to concerns for overall water quality.

BACKGROUND

The Beddis Water Service Commission (the Commission) met on June 4, 2018. At that meeting, the Commission reviewed three presented options for expanding the Water Quality Monitoring Program (WQMP). The Commission carried a motion to defer additional water quality testing until a revised and specific water quality test program with detailed cost implications could be presented to the Commission and the ratepayers.

On June 19, staff met with a commissioner to discuss the merits and implications of an expanded WQMP on the basis of the three potential options. Despite some benefits, the three options are typically beyond the scope of a regular drinking water monitoring program for a small water service such as the Beddis Water Service. Following the meeting, staff agreed to prepare a short report to the Commission evaluating a few changes to the current WQMP at the time of the 2019 budget discussions.

At the annual budget meeting on October 11, the Commission briefly discussed the potential expansion of WQMP in 2019 on the basis of an information report by Capital Regional District (CRD) staff. The Commission deferred a decision until the next meeting to allow staff to submit a report on the subject.

DISCUSSION

The current WQMP for the Beddis Water Service includes sampling and testing for some disinfection by-products (DBP) (e.g., trihalomethanes, but not haloacetic acids) on a quarterly basis at two locations in the distribution system. These compounds are formed with free chlorine from the disinfection process that binds with organic compounds, measured as Total Organic Carbon (TOC). They are also identified as “assumed carcinogenic with a lifetime exposure to high concentrations well above the Maximum Acceptable Concentration,” as outlined in the Guidelines for Canadian Drinking Water Quality (Health Canada). In the Beddis Water Service, average annual concentrations of these by-products have typically been well below the Maximum Acceptable Concentration. However, these concentrations can fluctuate significantly between seasons, based on changing organic content in the raw water. According to the ongoing monitoring, potential seasonal exceedances would be of no health consequence to the customers. Staff also note that the CRD’s ability to react to seasonal concentration changes with operational measures (to reduce or eliminate the by-products) is limited.

The following options were discussed for additional monitoring:

Option #1: Increase chlorine by-product (e.g., trihalomethanes) sampling and testing frequency from quarterly to monthly at two locations. Additional cost per year: \$1,000

Option #2: Undertake additional by-product (e.g., haloacetic acids) sampling and testing monthly at the same two locations. Additional cost per year: \$5,400

Option #3: Increase TOC sampling and testing from monthly at one location and quarterly at three locations, to weekly at two locations and monthly at two others, in concert with by-product monitoring. Additional analytical cost per year: \$1,000; additional labour and courier cost: \$4,500 – for a total amount of \$5,500 per year.

ALTERNATIVES

Alternative 1

That the Commission approve the proposed options to be included in the 2019 Water Quality Monitoring Program and associated budget.

Alternative 2

That the Commission not approve the additional monitoring components in the Water Quality Monitoring Program.

ENVIRONMENTAL IMPLICATIONS

A comprehensively designed WQMP based on a water system specific risk assessment is critical for ensuring safe drinking water for the community. The risk to public health from disinfection by-products (DBP) concentrations in the Beddis Water System is very low; however, a better understanding of the seasonal fluctuations of the DBP concentrations and the precursors would offer some additional understanding of the system.

ECONOMIC IMPLICATIONS

The total financial implications for the three proposed options would be \$11,900 per year. With a current annual water testing budget of \$9,300, these additions alone would more than double the budget for the WQMP. Also, these costs do not include additional CRD staff time to review, implement and report out on results.

CONCLUSION

The current WQMP for the Beddis Water Service meets all regulatory requirements and addresses system-specific water quality risks identified by CRD staff. The proposed changes to the current WQMP may provide a better understanding of potential seasonal risks of DBP exceedances; however, seasonal by-product concentrations observed in the Beddis Water System do not pose a health risk to customers. As well, the additional information on by-product

concentrations would not necessarily enable CRD staff to make timely operational changes to reduce the magnitude or duration of potential DBP exceedances.

RECOMMENDATION

That the Commission not approve the additional monitoring components in the Water Quality Monitoring Program.

Submitted by:	Glenn Harris, Ph.D., R.P.Bio., Senior Manager, Environmental Protection
Concurrence:	Larisa Hutcheson, P.Eng., General Manager, Parks & Environmental Services

CM:ss



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REPORT TO BEDDIS WATER SERVICE COMMISSION MEETING OF THURSDAY, FEBRUARY 28, 2019

SUBJECT REQUEST TO PURCHASE CRD LAND

ISSUE

Update to the request to purchase land owned by the Capital Regional District (CRD) and related to the Beddis Water Service, Salt Spring Island.

BACKGROUND

The Capital Regional District took on the ownership and operation of the Beddis water service in about 2004 (Bylaw 3188) and in doing so, inherited the water system assets from the previous water system owner, the Beddis Waterworks District. Those assets included a narrow strip of land called Lot B (PID 003-961-729 – Lot B, Section 76, South Salt Spring Island, Cowichan District, Plan 17642) which was previously used to facilitate a water storage tank and related pipe works that have since been abandoned. Lot B is approximately 0.12 acres, or 5,200 square feet in area. The adjacent land is Lot A is 0.75 acres or 32,670 square feet. Lot B is 16% of Lot A's area as outlined on Plan 17642. The owners of Lot A, Section 76, South Salt Spring Island, Cowichan District (1375 Beddis Road), Mr. and Mrs. Jacques, have requested that the CRD sell Lot B to them (via their lawyer James A. Pasuta, letter of September 21, 2017).

The CRD staff have conducted a review of the site to determine if it is, or will be, necessary for the operation of the service and confirmed that the original water storage tank was decommissioned prior to the CRD taking on ownership of the water service. Some of the water works materials and appurtenances remain abandoned on the site. Further, the CRD staff confirmed that there are no plans to re-utilize the land for a new water storage tank nor have plans to facilitate any other water service related assets or functions on the land (refer to Genivar study of 2011). At the June 4, 2018 the Commission requested staff to confirm if a pressure pump station should be added to improve the existing infrastructure. Based on a second visit to the site staff confirm there is no reason operationally for the Beddis water service to retain this land and to proceed with disposal as per the CRD policy. Therefore, the site can be considered surplus to the needs of the Beddis Water Service. It is understood that the CRD Real Estates Services Division manages sales transactions for the CRD.

Should the land be sold, the appurtenances remaining on site could be included in the sale as a condition "as-is, where-is" or the Beddis Water Service could remove all or a portion of the appurtenances at a cost to the Beddis Water Service. Regardless, it should be confirmed that the waterworks are appropriately disconnected from the water service by excavating, confirming and if necessary terminate any abandoned connections near Beddis Road.

As per Section 285 of the Local Government Act, the CRD Board does not need to make land available to the public for acquisition if it is disposed to an owner of adjoining land for the purpose of consolidation. A notice of disposition would be required as per Section 286 of the Local Government Act

ALTERNATIVES

That the Beddis Water Service Commission recommends that the Electoral Area Services Committee recommend to the Capital Regional District Board:

Alternative 1

To direct staff to dispose of the land on Salt Spring Island described as Lot B, Section 76, South Salt Spring Island, Cowichan District, Plan 17642, PID 003-961-729 (Lot B), through a land sale to the adjoining land owner in accordance with the Local Government Act and established CRD policies and procedures for disposing of CRD land, with the following conditions:

1. that the Chief Administrative Officer will respond to the Jacques' lawyer advising them of the disposition process,
2. that the value of Lot B be based on a market appraisal;
3. that Lot B will be consolidated with the adjoining Lot A, Section 76, South Salt Spring Island, Cowichan District Plan 17642,
4. that the purchaser pay for an appraisal; and
5. that staff will confirm that the waterworks have been appropriately abandoned,
6. that the Chief Administrative Officer be authorized to negotiate, execute and do all things incidental to finalizing the sale.

Alternative 2

To direct staff to not dispose of the land on Salt Spring Island described as Lot B, Section 76, South Salt Spring Island, Cowichan District, Plan 17642, PID 003-961-729, through a land sale to the adjoining land owner, and respond to the Jacques advising them that the CRD is not prepared to sell the land.

IMPLICATIONS

Alternative 1

By selling the land, the Beddis Water Service would incur the cost of disposing of the land, and would gain the value of the sale. The BC Assessment value in 2018 was \$35,200, and an appraisal would be completed prior to disposition. The cost of appropriately terminating the abandoned water works should be factored into the sale.

Alternative 2

By not selling the land, the CRD's Beddis water service would continue to own and incur any future liabilities related to doing so. The abandoned works should be confirmed to have been appropriately terminated, a cost to the Beddis Water Service.

CONCLUSION

The CRD received a letter from the lawyer representing the Jacques requesting that an adjacent land owned by the CRD be sold to the Jacques. The CRD staff have determined that the site was once used for a storage tank has since been abandoned and the CRD staff have confirmed that the long-term plans for the water service do not include the use of that site for a storage tank or other purpose. Therefore the land can be deemed surplus to the needs of the Beddis Water Service and potentially be disposed of in accordance with the Local Government Act and CRD's policies regarding land disposition.

RECOMMENDATION

That the Beddis Water Service Commission recommends that the Electoral Area Services Committee recommend to the Capital Regional District Board:

To direct staff to dispose of the land on Salt Spring Island described as Lot B, Section 76, South Salt Spring Island, Cowichan District, Plan 17642, PID 003-961-729 (Lot B), through a land sale to the adjoining land owner in accordance with the Local Government Act and established CRD policies and procedures for disposing of CRD land, with the following conditions:

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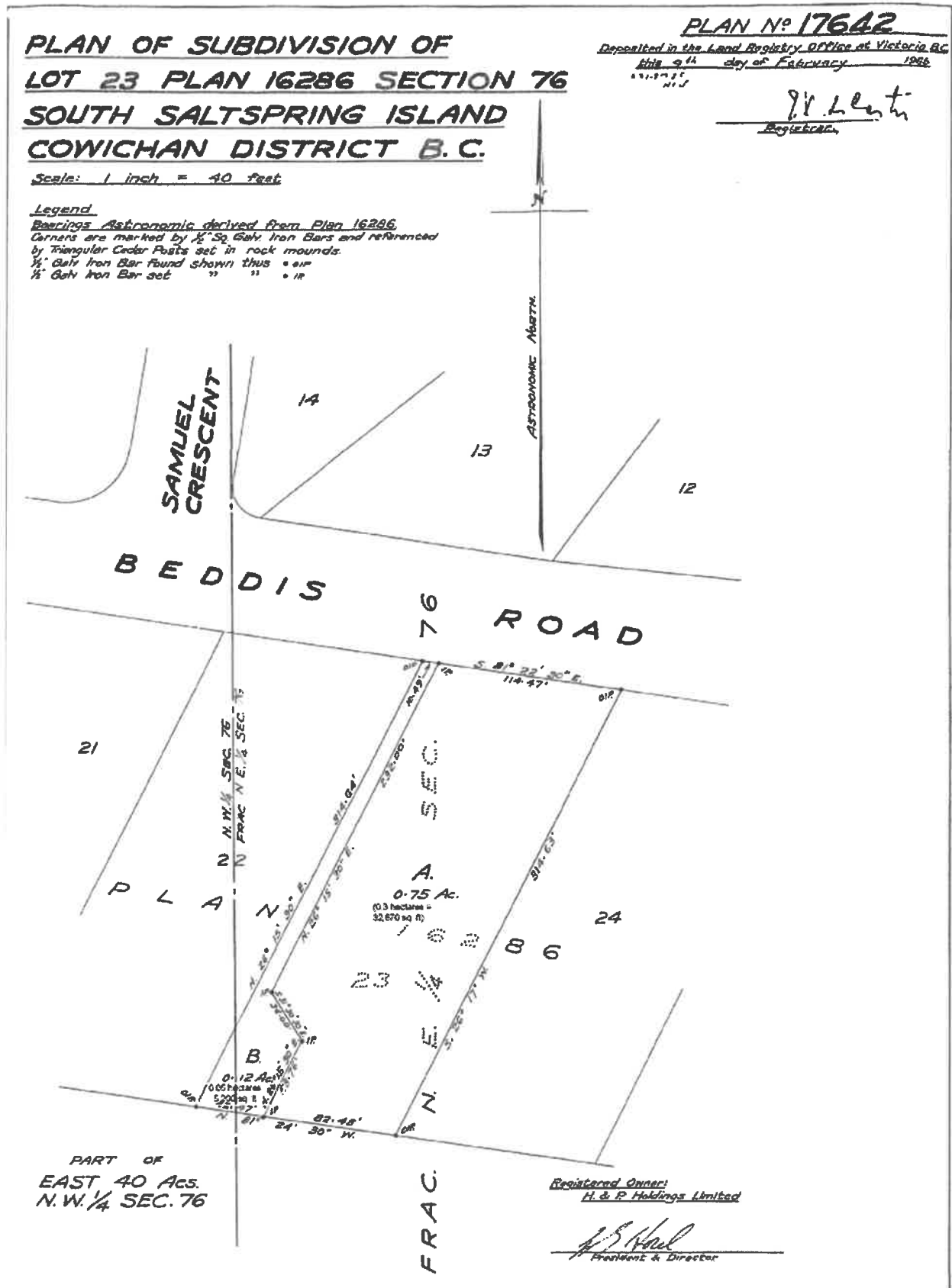
Submitted by:	Karla Campbell, Senior Manager, Salt Spring Island Electoral Area
Concurrence:	Stephen Henderson, BSc, PGD Eng, MBA, Manager, Real Estate Services
Concurrence:	Ted Robbins, BSc, CTech, General Manager, Integrated Water Services
Concurrence:	Robert Lapham, MCIP, RPP, Chief Administrative Officer

SC/KC/SH/TR:ts

Attachments:

A-Survey Plan of the land

B-Letter of September 21, 2017



JAMES D. PASUTA *
BARRISTER AND SOLICITOR

*DENOTES PERSONAL LAW CORPORATION

COURIER/STREET ADDRESS

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SALT SPRING ISLAND, B.C.
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MAILING ADDRESS

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TELEPHONE (250) 537-9995
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Our File: M3215

September 21, 2017

Capital Regional District
625 Fisgard Street
Victoria, B.C., V8W 1R7

Attention: Brent Reems

Dear Sirs/Mesdames:

Re: Lot B, Section 76, South Salt Spring Island Cowichan District, Plan 17642
1300 Block, Beddis Road, Salt Spring Island, B.C.
Inquiry About Possible Purchase

I have been retained by Linda Jacques and Laurence Jacques, the owners of a house and property located at 1375 Beddis Road, Salt Spring Island, (Lot A, Plan 17642). They live on Lot A as the principal residence.

The Capital Regional District owns an adjacent lot, (Lot B, Plan 17642).

I enclose for your review the following documentation:

- a) Title Search of Lot A Plan 17642
- b) Title Search of Lot B Plan 17642
- c) Plan 17642 that created both Lot A and Lot B
- d) LTSA "Title Search Results" for both Lot A and Lot B.

The Title Search Results shows Lot B was originally owned by the Beddis Waterworks District. The Capital Regional District became owner of Lot B when the Capital Regional District took over the operations of the Beddis Waterworks District.

The sub-division that created Lots A and B seems to have been done for the purpose of furthering the operations of the Beddis Waterworks District. I would guess from the shape of Lot B that there had been a plan to have a water tank on Lot B with a water line running down the panhandle of Lot B to Beddis Road.

Mr. and Mrs. Jacques have instructed me that there are no improvements on Lot B. Either the Beddis Waterworks District never followed through on their plans, or if there were improvements, the works were abandoned and then removed. In any event, Lot B is now an unused, vacant lot.

JAMES D. PASUTA
BARRISTER AND SOLICITOR

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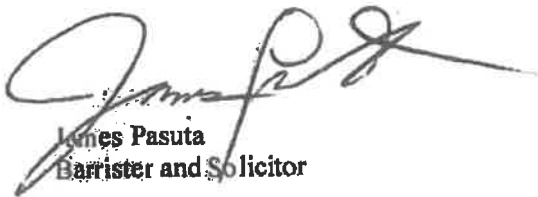
This being the case, Mr. and Mrs. Jacques have asked me to ask whether the Capital Regional District would be prepared to sell Lot B to them. The result of this request would be to restore the Jacques' property to the same size as the parent property was prior to the sub-division.

Obviously, any positive answer could only occur once the Capital Regional District confirmed that Lot B is not being used, and would never be used, in any way by the Capital Regional District.

I have written to you as we have dealt with other land matters in the past. If someone else should have received this letter, could you please pass the letter on with a request that s/he contact me in due course.

If the Capital Regional District needs any other information from Mr. and Mrs. Jacques before a decision can be made, please do not hesitate to call.

Yours truly,



James Pasuta
Barrister and Solicitor

Encls.