



Centennial Park

Salt Spring Island

2016 Masterplan

Prepared by:
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Centennial Park Masterplan

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For:

Capital Regional District, Salt Spring Island
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1.0 Introduction

1.1 Context

Centennial Park is a 0.72ha waterfront park ideally located along the boardwalk in Ganges on Salt Spring Island. It is used by both residents and tourists, particularly on warm summer afternoons and Saturday Market days. The park is the community's central outdoor gathering space, hosting cherished and important events such as the Christmas Light-up, Earth Day, the Fiddle Camp Concert and the Remembrance Day ceremony. Survey results indicate the park is valued by residents as a safe and flexible gathering space, and that its markets, open grass lawns, central location and play opportunities are its most successful aspects. Since the park's opening in 1967, local children have enjoyed riding the metal horse and climbing with their friends on the now smooth branches of the best climbing trees.

However, despite its fantastic location, famed events and a few well loved features, the park is poorly designed for many of the activities that take place in it. It is inhospitable to year-round use, has perennial nuisance and safety issues, and lacks strong connections to the waterfront and the surrounding village. On days without planned events, this public space with so much potential is underutilized and largely unwelcoming.

In December, 2015, the Capital Regional District contracted LADR Landscape Architects to prepare a 20 year Park Master Plan based on site review, review of available documents, and public consultation.

Location and General Description of Centennial Park

Centennial Park is located between Fulford-Ganges Road and Ganges Harbour, and east of the Fulford Ganges / Lower Ganges intersection. The park is built on fill over a formally productive clam bed and is located close to known and suspected culturally important First Nations sites. It is home to the widely popular and economically important Saturday Market, the cenotaph, and the Ganges public playground.

The park is accessible to pedestrians and cyclists from Fulford Ganges Road, Gasoline Alley and the Centennial Dock parking lot, and includes on-site vehicular parking adjacent Gasoline Alley.

1.2 Objective

The objective of the Master Plan, as identified in LADR's Centennial Park RFP submission, is to develop a community supported high level guide for recreating Centennial Park as a unique and important public space for the entire community, and a feature attraction for visitors.

The Master Plan will be a document which the Capital Regional District (CRD) can reference over the next 20+ years when making decisions about long range capital projects, as well as design and management decisions related to day to day and short term activities within Centennial Park.



Fig. 2: Aerial View of Centennial Park

1.3 Methodology

1.3.1 Research and Field Reviews

From December 2015 through February 2016 the project Consultants researched, reviewed and consolidated background information related to Centennial Park, and made three formal and several informal field reviews to gain information about site conditions and park use, and to ascertain opportunities and constraints. This information was used to prepare background information plans which were presented during the community engagement process and posted on the CRD web site.

1.3.2 Client Consultation

The Consultants worked closely with Dan Ovington, Manager of Salt Spring Island Parks & Recreation, throughout the Master Plan process. Dan provided relevant background documents, arranged and attended the Roundtable meeting and Design Charette, assisted with First Nations liaison, posted and distributed a Consultant prepared park user survey, and posted community engagement summaries and progress plans (all on the CRD website). Dan also received community and stakeholder feedback on the plan as it developed, and reviewed bi-monthly progress reports.

Three preliminary draft plans, distilled from six charette concept plans, were presented to the Salt Spring Island Parks and Recreation Commission (PARC) on June 20, 2016, and subsequently posted to the CRD web site for public feedback. The draft plans can be found in Appendix A.

A preliminary draft Master Plan was reviewed with the Client in October, 2016. The draft included the concept plan and associated report with recommended phasing.

On November 21, 2016, the consultants presented the Final Draft to the Commission. A Rough Order of Magnitude (ROM) costing was also prepared and will be presented at a later date by the manager of SSI Parks and Recreation.



Client Representatives (the Client)

Mr. Dan Ovington, CRD Manager, Salt Spring Island Parks and Recreation
Salt Spring Island Parks and Recreation Commission (PARC)

In association with

Sue Hallatt, CRD Manager, Aboriginal Initiatives
Kirk Harris, CRD Senior Parks Maintenance Worker
Rob Pingle, CRD Market Coordinator

1.3.3 Public Consultation

Community stakeholders had four opportunities and the general public three opportunities to participate in the early planning process:

- Roundtable (27 community stakeholder organizations & 9 First Nations Chiefs were contacted directly)
- User survey (open to the public: posted on the CRD and Salt Spring Exchange web sites and the CRD Facebook page, and distributed as hard copy to the local pool, library, and seniors centre, and at Portlock Park and the Centennial Park Roundtable)
- Design Charette (open to the public: posted on the CRD and Salt Spring Exchange web sites, and announced in the SSI Driftwood Newspaper; 27 community stakeholder organizations & 9 First Nations Chiefs were also contacted directly)



- Draft Designs (public feedback requested on 3 draft park plans distilled from Design Charette outcomes: request for feedback posted on the CRD and Salt Spring Exchange web sites and in the SSI Driftwood Newspaper).

In addition to these activities, the Consultants met with Joe Akerman and Chris Marshall in advance of the Roundtable to review opportunities for First Nations engagement and followed up with them in October, 2016, to review the draft plan and potential for ongoing First Nations engagement.

Roundtable

The Roundtable provided an opportunity for community stakeholders and First Nations to share information about the park and jointly discuss ideas, interests and options that they felt should be considered in development of the Master Plan. It was held February 28, 2016, with thirty-six participants signing in and several more attending. The client representative, Dan Ovington, and seven Consultant team members were also present. Selliyee Claxton, Elder from Tsawout First Nation, began the day with a blessing and provided an interesting explanation of First Nations history in the area. The Consultant team then gave a power point presentation on the

history and current environmental and physical attributes of the site. This was followed by small group discussions facilitated by consultants and recorded by Roundtable participants.

After approximately 70 minutes of recorded discussion around eight pre-determined themes, the small groups shared their ideas with the full contingent of participants. All presentations were respectfully received; participants were unanimous in their desire for Centennial Park to be an inviting and engaging park for everyone - children, seniors, tourists, and residents. Many felt the park had desirable elements, just not in the right places. Participants indicated they would like to have a comprehensive master plan that clarified park function, provided for flexible space, and featured distinctive qualities that would enhance Ganges.

A summary of the Roundtable outcomes was posted to the CRD web site in early March, 2016; a copy of the summary can be found in Appendix B.

Survey

A Consultant prepared survey was posted on the CRD website and distributed as hard copy to the local pool, library, seniors centre, and Portlock Park on March 1st. It was also handed out at the February 28th Centennial Park Roundtable. When the survey closed on March 18th a total of 461 people (+/- 4.5% of Salt Spring Island's population) had responded. Although self selected and, therefore, not statistically reflective of Salt Spring's demographics and population, the high number of responses provided valid information, especially by those most interested in the park.

The majority of survey respondents were between the ages of 30 and 59 (+/- 65%); approximately 31% were over sixty. Ninety-five percent indicated they were not vendors at the Tuesday market and 85% indicated they were not vendors at the Saturday market; none identified as market performers. Most respondents (50%) indicated that when they visit the park they stay less than an hour, and 80% indicated they typically drive to get there.

Key themes that emerged (identified by more than 50% of respondents):

- The park is a key community space and social hub
- The future park should provide a strong connection to nature, art and culture, and should reflect Salt Spring Island's unique charm
- The park's most important role is to provide a safe and flexible gathering space
- The most important redevelopment project should be improving the washrooms; this should be followed by improving connectivity between existing trails and the boardwalk, and improving market layout. The 3rd priority (with 50% of respondents citing these) should be improving event and performance space, and safety and natural surveillance.

Comments around the park's most successful features varied greatly, with the top four being: the markets (35%); open space and green lawns (30%), location (30%) and the playground (25%).

Comments around the park's unsuccessful features were similarly varied. The top two were: the presence of disrespectful park users (+/- 37%) and the washrooms (15%).

A survey summary was posted to the CRD website in mid April, 2016; a copy of the survey and survey summary can be found in Appendix C.

Design Charette

A public Design Charette was held April 10th, 2016. It was attended by 20+ participants as well as client representative Dan Ovington, Electoral Area Senior Manager Karla Campbell, and four Consultants. Unfortunately, due to unforeseen circumstances, First Nations leaders were unable to attend.

The day began with a short presentation on the history, environmental and physical attributes of the site, a summary of the Roundtable outcomes and survey results, and an overview of potential climate change impacts on the site. This was followed by a facilitated design session where participants broke into three groups to develop broad vision concept plans for the park. Once the first plans were prepared, participants were encouraged to form new groups and repeat the process. Six concept plans were developed in approximately two hours, after which participants presented their ideas to the group as a whole. A short discussion followed.



Key themes that emerged (included in all 6 concept plans):

- Washroom moved and improved
- Berms removed
- Play area redeveloped; new play space to include 'natural' play features
- Gazebo/band shelter reinvented & relocated
- First Nations recognition

Proposed locations for the Saturday market, cenotaph and play area varied greatly; one plan did not include a market at all.

All presentations were respectfully received; follow up discussion focussed primarily on two topics:

a) The possibility of locating the Saturday market along the boardwalk:

Several participants suggested the current market serves as a protective buffer along Fulford Ganges, allowing the park to remain visually and physically connected to the sea. Others suggested that as the market blocks view of the park and ocean from Fulford Ganges Road, it could be moved to adjacent the boardwalk to keep the park visible and prevent 'blockage' at the road.

b) The possibility of locating the Saturday market along Gasoline Alley:

Several participants were highly interested in this concept and suggested it would be interesting to explore this option further, along with the option of putting half the market along Gasoline Alley and the other half along the north edge (Centennial Dock parking), i.e. bookending the park and leaving views to the ocean wide open at all times.

The six concept plans developed at the Design Charette were posted to the CRD website in mid April, 2016; a copy of the plans can be found in Appendix D.

Draft Park Plans

The community generated plans developed at the Design Charette are the foundation of the Master Plan park design. Opportunities and challenges associated with the Charette plans were reviewed, analyzed, and tested against Roundtable and survey comments, and the plans were then distilled into three distinctly different draft plan options. The options were presented to PARC and posted to the CRD web site for public feedback in late June, 2016.

The Charette generated concept to remove the market from the park altogether was not pursued. Neither was the option, voiced at the charette but not included on any of the Charette plans, to consider locating half the market on the north-east side of the park. Upon review it was determined that dividing the market would potentially create a 'tiered' market environment with locations on the south side seen as preferable. It would also impact available continuous space for non-market activity, and would increase foot traffic intensity (crisscrossing between market venues) which would, in turn, lead to increased maintenance requirements.

Themes common to all three options:

- 1730m² of market space (25% of the total park area; pre-established requirement)
- Berms removed
- New washrooms in new location
- First Nations recognition/cultural integration in overall design
- Enhancement of cenotaph area
- New playground (naturalistic focus)



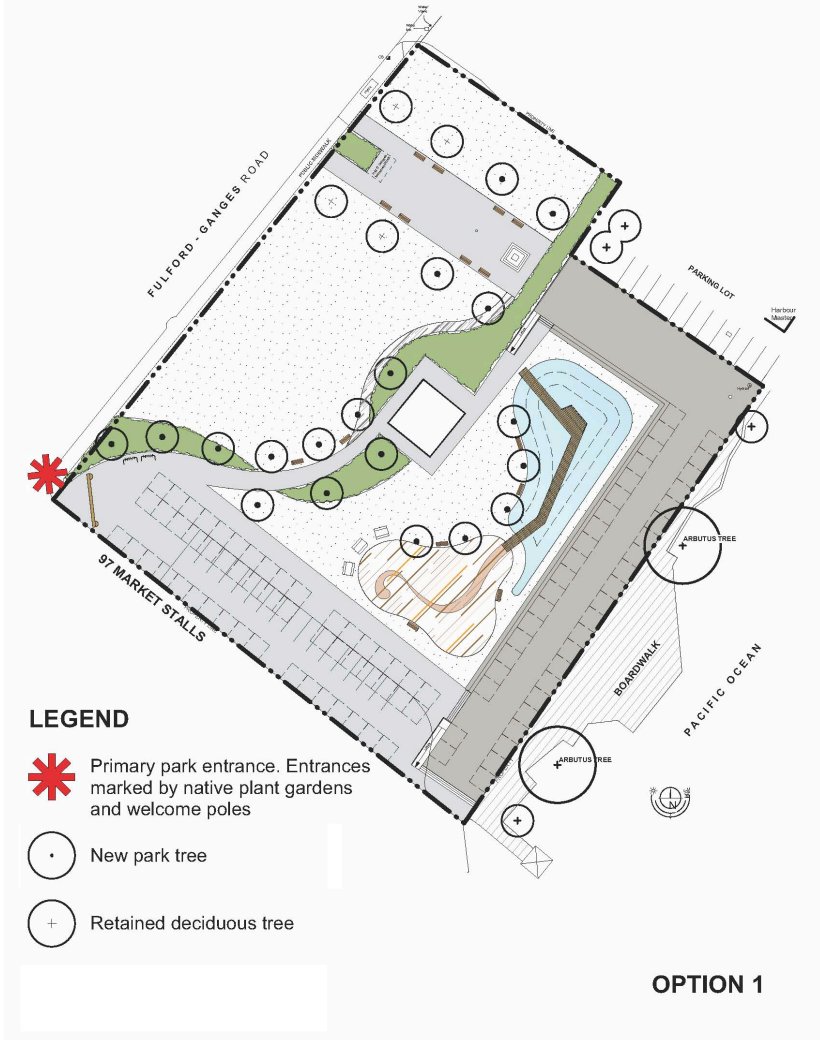
- Strong and clear sense of entry
- Planting enhancement: relocation of memorial trees, removal of unhealthy trees and vegetation, focus on native and adaptive species planting beds. Low to no irrigation requirement is a priority.

Draft Plan Option 1

Option 1 locates market activity on the southwest property line and on a new promenade adjacent the boardwalk. It assumes the hard surface required for market use will maintain the existing parking, expand the width of the adjacent sidewalk, and establish a 0.6m (2') ht. promenade over seawall that will serve to protect the park from sea level rise while creating a multi-use space for waterfront activity (markets, seating, buskers, key waterfront events, etc). Seating steps line the park side of the promenade, and facilitate small social gatherings, viewing of park events, and oversight of the park itself.

In this option the park is essentially divided into three areas:

Area 1: The existing expanse of concrete and stressed vegetation adjacent Fulford Ganges Road is removed from park land and replaced with a large open grass lawn that maintains clear ocean views and a creates calm and inviting streetscape presence. This open lawn area is framed on the south and west by a vegetated 'ribbon' of native plants that weave through the park connecting the three main areas, and by the cenotaph / memorial garden on the north. The native plant ribbon could



LEGEND

- Primary park entrance. Entrances marked by native plant gardens and welcome poles
- New park tree
- Retained deciduous tree

Map 1: Draft Plan Option 1

form (in total or part) a First Nations garden which might include signage, welcome poles and/or other items of cultural significance. Reference to the original clam beds that the park now sits on might be referenced as a narrow pathway along the edge of the ribbon. Additional First Nations references are expected to form part of the main park entry at the west corner of the site.

Area 2: While the cenotaph remains in the north corner, Option 1 relocates it slightly in creation of a formalized memorial garden that includes an expanded hard surface ceremonial area, relocated memorial cherry trees, flagpole and historic monuments, and new seating.

Area 3: The eastern half of the park is dedicated to play and stormwater management (not to say you can't play in Area 1). A natural materials themed play and picnic area is proposed for the south corner of the park, and a constructed wetland is proposed for the east corner (both framed by the raised promenade). A boardwalk across the wetland would provide educational opportunities and dry connectivity between park areas, even during the winter season. The wetland itself would be part of an on-site stormwater management strategy and would contribute significantly to increased biodiversity and habitat within the park.

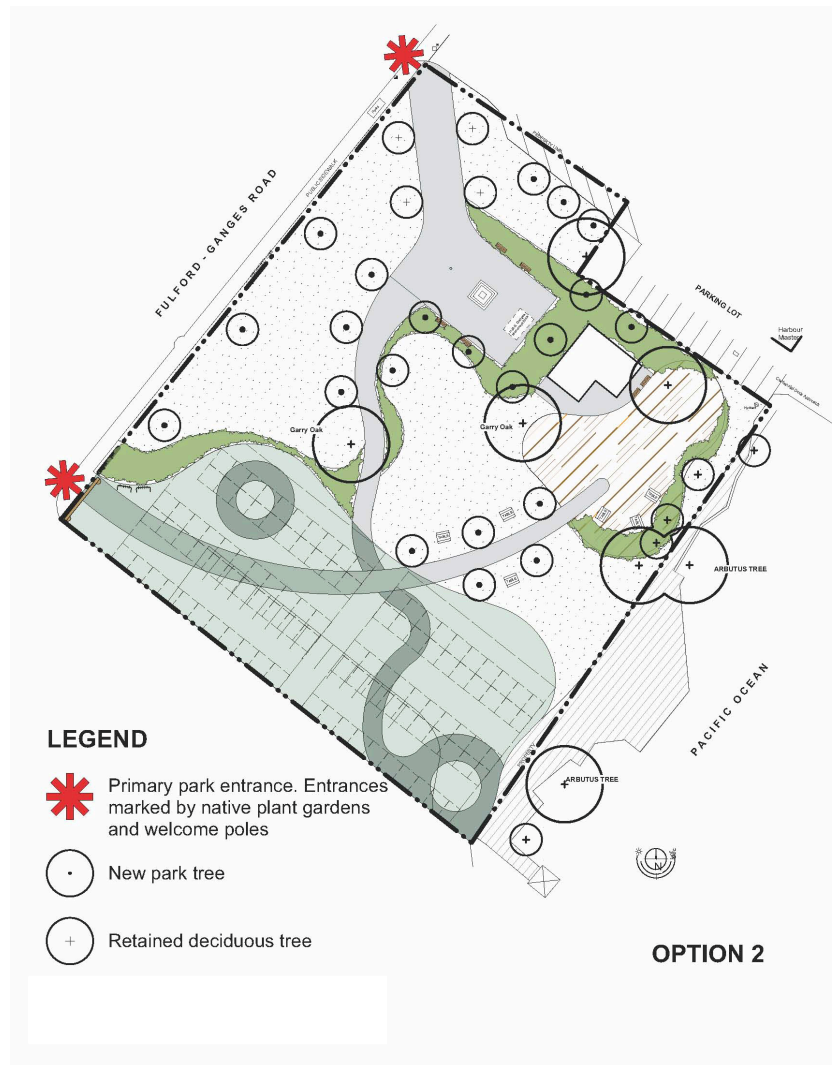
Entry & Pavilion: The main park entry and pavilion straddle Areas 1 and 2 and serve all 3 areas. The entry is briefly mentioned above in 'Area 1'. The centrally located pavilion is expected to be an attractive and highly recognizable (memorable) park feature, housing updated washrooms and a performance platform which would also serve as a venue for programmed community and cultural activities. The pavilion would be designed to reflect SSI's unique design culture and to the highest sustainability standards; it would provide shade in summer months, rain shelter during winter months, and, ideally, park specific storage for maintenance staff, and community emergency supplies.

Draft Plan Option 2

Option 2 focuses on locating all market activity on the south-west property line. It assumes the hard surface area required for market use will maintain or expand slightly the existing parking, and that the raised portion (curb height or better) will be prepared as a colourful, patterned, permeable and multi-use sports surface which will support a variety of activities during non-market hours. The sports surface would incorporate removable goal posts &/ or basketball hoops, or other apparatus that would promote safe play and socialization for young teens and older folks. It would also be used as an all-season venue for programmed activities such as First Nations cultural events, festival day activities, and other key community events.

In response to stormwater management, the Option 2 concept incorporates strategic park grading whereby the permeable multi-use surface also serves as a large lawn drain, capturing stormwater from across the site, and conveying it through a sub-grade engineered treatment system (possibly sand) before discharging it into the ocean. Alternately, the stormwater could be stored below grade and used for irrigation purposes. This stormwater management strategy would vastly improve drainage across the site and make the park much more user friendly throughout the winter months.

Additional components of the Option 2 concept include pedestrian paths crisscrossing the site and providing connections between the market and cenotaph areas, playground, washrooms and non-programmed open space. The large paved surface adjacent Fulford Ganges Road is removed, views to the ocean are maintained even during market days, and First Nations art and environmental values are incorporated into detail design throughout the park (to be coordinated with First Nations), especially at entrances and in the extended vegetation 'wave'. Of particular significance are 2 mature Garry oaks that are retained in the centre of the park.



Map 2: Draft Plan Option 2

Draft Plan Option 3

Option 3 maintains much of the market activity along Fulford Ganges Road and on the south-east property, presenting the idea that the market should be kept to the edge of the park (or even out of the park), and that the waterfront should be protected and retained for non-commercial park activities. In this option the hardscape layout along Fulford Ganges is adjusted to create a highly visible mid park entrance and central axis with ocean view corridor through an open sided pavilion. The centrally located pavilion would include First Nations elements, serve as a stage/venue for community and cultural events, and provide some shelter from wind, rain and sun.

Highly visible park entries are also established at the park corners along Fulford Ganges Road. Entrance designs would be consistent with each other though not exact replicas; all entrances would lead to the feature pavilion and the large open grass and play area beyond.

A formalized secondary axis would be framed by transplanted memorial cherry trees and relocated park monuments; it would connect to the relocated cenotaph and ceremonial plaza surrounding it. This new memorial garden would be buffered by low maintenance vegetation and become a space for quiet activities and contemplation.

A revamped play environment is proposed for the north-east corner, in the location of the current playground. It is to be developed using natural elements such as boulders, logs and

native vegetation, as well as, potentially, traditional and/or contemporary play structures. Picnic tables and benches would be strategically located around the play and open lawn areas.

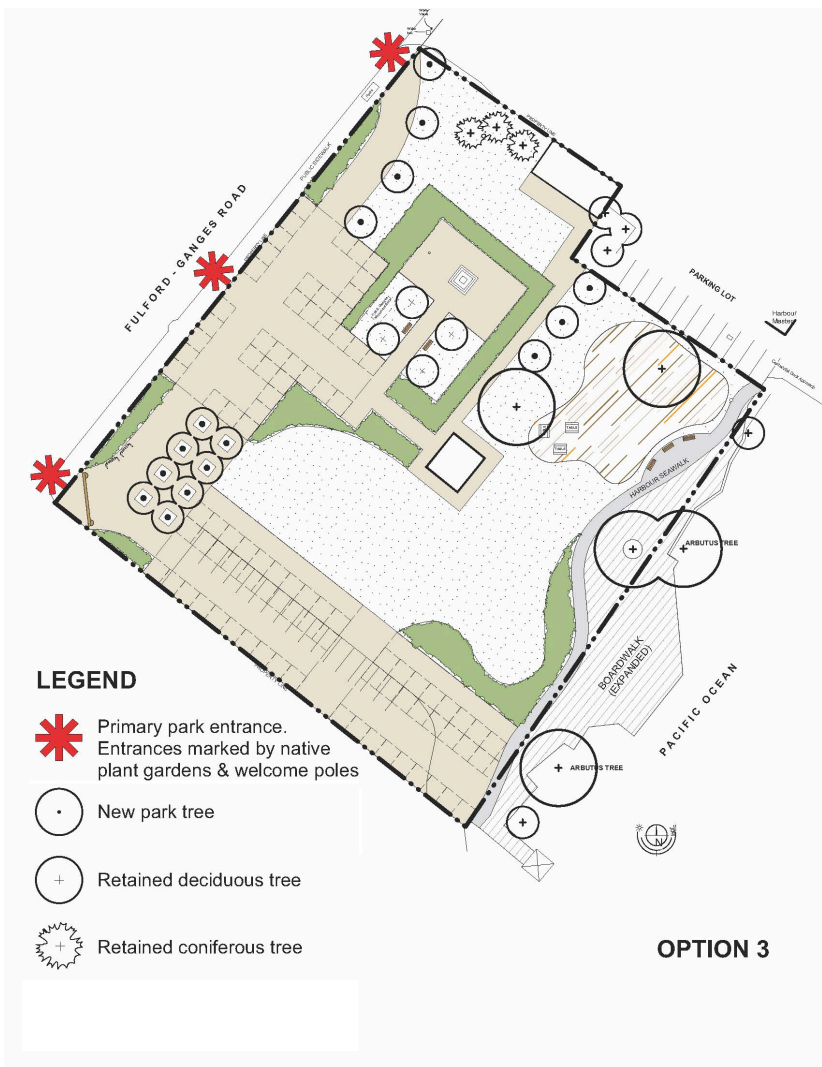
An important aspect of Option 3 is the proposed harbour seawalk which would be located on the west side of the existing boardwalk. The walk would be edged with native plant species and culminate in a native plant garden (perhaps a First Nations garden) at the south end; it would incorporate seating and high quality, unobtrusive, signage (historic, environmental, cultural).

The washroom in Option 3 is located on the north-east property line, near the north entrance to the park. It would be a standalone, highly visible and functional facility that is easily located by SSI visitors and park users, and easily observed by police and surrounding businesses.

Option 3 has several potential stormwater management options:

- Drainage could be improved through installation of a drainage mat throughout the lawn area (similar to a sports field);
- The site could be graded to drain to the south corner and a rain garden or small wetland with overflow to the sea could be constructed north of, or as part of, the native plant garden;
- As in Option 1, expanded hardscape (in this instance, along the Fulford Ganges frontage) could be permeable and serve as a large lawn drain, capturing stormwater from across the site, and sending it through a sub-grade engineered treatment system (possibly sand) before discharging it into the ocean. Alternately, the stormwater could be stored below grade and used for irrigation purposes.

Copies of the three annotated draft plans (as posted on the CRD web site for public feedback) can be found in Appendix A



Map 3: Draft Plan Option 3

1.4 Reference Documents & Web Sites

The following references were among those reviewed in preparation of the Centennial Park Master Plan:

- Arnett, Chris. An Introduction to First Nations' history in the Gulf Islands. (undated) Website: <http://saltspringarchives.com/multicultural/firstnations/index.html>
- Bruce, Allan, and Hardy, Mike. Salt Spring Island History. Website: www.saltspringislandrealty.com/saltspring_history.php
- Capital Regional District. Salt Spring Island Community Economic Development Commission (CEDC): Salt Spring Island Community Development Program Guideline (undated). Website: www.crd.bc.ca/ssicedc
- Capital Regional District, Salt Spring Island Parks and Recreation Committee (PARC): Vendor Guidelines for the Saturday Market in the Park (undated). Includes CRD Bylaw No.3795, Juan de Fuca and Salt Spring Island Electoral Areas Community Parks Regulations. Website: https://www.crd.bc.ca/docs/default-source/salt-spring-island-ea-pdf/ssi-parc/marketinthepark_vendorguidelines201633a94152e7e1653386odff00001065ab.pdf?sfvrsn=2
- Capital Regional District. Website: www.crd.ca
- Driftwood, Thursday, June 30, 1966. Website: <http://saltspringarchives.com/driftwood/1966/June30-1966.pdf>
- Forsyth & Musacchio. 2005. Designing Small Parks: A Manual for Addressing Social & Ecological Concerns
- Google Maps website: www.google.ca/maps
- Gulf Islands Driftwood, Thursday July 6, 1967. Website: <http://saltspringarchives.com/driftwood/1967/July6-1967.pdf>
- Gulf Islands Driftwood, Thursday July 13, 1967. Website: <http://saltspringarchives.com/driftwood/1967/July13-1967.pdf>
- Islands Trust, Islands Trust Council. Islands Trust Policy Statement Bylaw No. 17. Consolidated April 2003. Website: <http://www.islandstrust.bc.ca/trust-council/policies-and-procedures/1-policy-statement/>
- Islands Trust, Salt Spring Island Local Trust Committee. Salt Spring Island Land Use Bylaw No. 355. Consolidated July 2015. Website: www.islandstrust.bc.ca/islands/local-trust-areas/salt-spring/bylaws/salt-spring-island-land-use-bylaw-no-355/
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- Kahn, Charles, 1998. Salt Spring, The Story of an Island. Harbour Publishing Co.Ltd., BC
- Landworks Consultants, 2011. Salt Spring Island Parks System Master Plan. On CRD website: www.crd.bc.ca/docs/default-source/salt-spring-island-ea-pdf/ssi-parc/ssiparkssystemmasterplan-finalwithmap.pdf?sfvrsn=2
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- Lewis, Megan, ed. January 2008. From Recreation to Re-creation: New Directions in Parks and Open Space System Planning. American Planning Association, Chicago.
- NDS, 2007. NDS Principles of Exterior Drainage - Short Course. Website: www.NDSPRO.com
- North Salt Spring Waterworks District: By-law No. 274 Website: http://www.northsaltspringwaterworks.ca/wordpress_water/wp-content/uploads/2016/07/Bylaw-274-Services-Water-Distribion-Regulation-Feb-17-2016.pdf
- Reichert, Pat. September 2006.Salt Spring Island Food Security, A Discussion and Planning Paper Salt Spring Island Archives. Website: www.saltspringarchives.com
- Salt Spring Island Conservancy, All Species at Risk. Website: <http://saltspringconservancy.ca/wp/plants-animals/species-at-risk>
- Salt Spring Island Conservancy: Living With Nature, A Guide for New Property Owners on Salt Spring Island (Brochure)
- Simon Fraser University. Risk Assessment Framework for Coastal Arquifers Study. Website: https://www.sfu.ca/personal/dallen/Risk_to_Coastal_Bedrock_Aquifers.html
- Wikipedia, Dec. 26, 2015. Website: https://en.wikipedia.org/wiki/Saltspring_Island
- Williams, Harry. November 29, 2012. Tree Management for Centennial Park, Salt Spring Island
- Yates, Thorn & Associates Inc., December 2009. Salt Spring Island Parks and Recreation Strategic Plan. On CRD website: www.crd.bc.ca/docs/default-source/salt-spring-island-ea-pdf/finalstrategicplanjan252010complete.pdf?sfvrsn=2

2.0 Site History

The 0.72ha waterfront park falls within the traditional territory of several Coast Salish Nations, including WSA NEC, Penelakut, Stz'uminus, Halalt and Cowichan Tribes, and is close to known and suspected culturally important First Nations sites, including seven burial sites. It was a thriving clamming area and an important economic resource until infilled in 1967 to create Centennial Park in honour of Canada's first hundred years of Confederation. The fill that was used to create the park came from local dredging operations and contained mainly clay marine sediments; the clay has likely protected any artifacts that were left on the original shoreline, but contributes to winter drainage problems experienced within the park today.

The initial Centennial Park concept was for a community park that included a children's playground (swing, slide, monkey bars and novel rocking horse), a bowling green, Cenotaph space, shuffle-board court, checker-boards, artistic landscaping, storage building and parking.¹

Today, the site is governed by the Islands Trust, is considered part of 'Heritage Conservation Area 1 Ganges Village Core' (OCP map 25), and is designated a Community Park in the PARC portfolio.

Under the Trust authority all activities within the park are expected to foster preservation and protection of the local ecosystem, including the marine shoreline, and native marine species. In accordance with the SSI Parks System Master Plan (2011), a Community Park should be oriented toward providing active recreational facilities for all ages of the community, and be conveniently accessible by vehicle.



Map 4: Historic Context (Original Extent of Shiya'hwt Village)

As a Heritage site, all trees and the cenotaph within the park are protected heritage property and a Heritage Alteration Permit is required to make any changes to them. The original park trees were purposefully selected and planted in 1967 to honor SSI pioneer settlers, and the Royal Canadian Legion paid to have the cenotaph, originally erected in 1923, relocated to the park in time for the opening ceremonies.²

Significant dates in Centennial Park's history (not exclusive):

- 1964 – Col. M.F. Peiler presents colleagues with a model of Centennial Park
- 1966 – Salt Spring Island becomes part of the CRD and the first Centennial Park Master Plan is approved
- 1967, July 6th – control tap on newly installed drinking fountain is removed; first recorded act of vandalism in the park:
- 1967, July 8th – Centennial Park is officially opened by Lieutenant-Governor G.R. Pearkes
- 1973 - first summer Saturday Market is held (now the single most important venue for most artists and crafts workers on SSI; allotted 25% of park space during market hours)
- 1974 - Islands Trust Act passed by Province of BC and first SSI Official Community Plan (OCP) is adopted
- 1981 – Water Preservation Society is founded
- 1982 – Referendum finds residents want Saturday Market in the park
- 1985 - pile driving and rip rap repairs are made along the harbour foreshore to prevent erosion and to prevent fill from re-filling the dredged harbour adjacent the park; plans to build the wooden walkway and band shell get underway
- 1989, September – Playground updated by the SSI Parents for Playgrounds organization
- 1992 – Make It, Bake It or Grow It policy introduced to Saturday Market
- 1998- Islands Trust adopts SSI's second OCP
- 2011 – SSI Parks System Master Plan prepared by Landmarks Consultants (Centennial Park is designated a community park)
- 2012 – high level Tree Management Plan for Centennial Park prepared by Harry Williams,
- 2015 – Current Centennial Park Master Plan project gets under way



Fig. 6 Park Opening Photo from Gulf Islands Driftwood, July 13, 1967



Cenotaph, 1949 Photo courtesy SSI Archives



Fig. 3 Ganges Inner Harbour 1950)



Fig. 4 Ganges Inner Harbour 1968



Fig 5. Ganges Inner Harbour 2012

Centennial Park Data

- 0.72ha; Community Park, opened in 1967
- Waterfront adjacent the park is designated Shoreline and zoned Shoreline 1 (S1) by the Islands Trust; it has a currently inaccessible cobble/stone beach.
- Minimal biodiversity within the park.
- Not seasonally flooded but very wet in winter due to clay fill which contributes to poor drainage.
- Located within Heritage Conservation Area 1 Ganges Village Core; all trees & cenotaph are heritage protected.
- Located close to known & suspected culturally important First Nations sites.
- 25% (.18ha) allocated commerce footprint
- Money has been earmarked in CRD Capital Plan for washroom replacement.
- Saturday Market is an important economic, social & cultural event.
- The first Summer Market in the park was in 1973.



Colorful benches surrounding raised planters. Roots from trees in planters are causing damage to the surrounding paving

One Sitka Pine, traditionally decorated for Christmas. To be assessed.

Main Saturday Market area. Market consists of rows of stalls on either side of the paved area with circulation through the center

TO HEIWA GARDEN AND MOUAT PARK

AREA OF TRAFFIC CONGESTION

Bike Racks

Plum trees along Gasoline Alley were planted in memory of Japanese internment camp victims

Raised berms surround band shell to create amphitheatre seating. Berms create siteline issues and cut off views to the water

Memorial Magnolia tree

ALONG SIDEWALK TO GRACE POINT

ACROSS PARKING LOT TO GRACE POINT

Bike Racks

CENTENNIAL DOCK PARKING

Cenotaph

Flagpole

SPCA charity dog daycare area, used as a during the summer market

Existing washroom and building includes a crude handwashing station used for the Saturday Market

Harbour Master

Centennial Dock Approach

PLAYGROUND

Pedestrian path disappears as it turns the corner. Pedestrians must walk on the edge of the parking lot paving

Barber pole

Playground includes main play structure, tire swing, and refurbished multi-person rocking horse. Rocking horse has strong ties to the community.

Raised planters with shrubs and perennials create a pinch-point

Band shell

Raised planters with shrubs and perennials create a pinch-point

Harbour history information signs

Sheltered viewing platform



1:250

LEGEND

- Major pedestrian circulation
- Minor pedestrian circulation
- Current extent of Saturday Market
- Unimpeded views to the harbour

Map 5: Current Site

3.0 Site Analysis

3.1 Site Ecology

Salt Spring Island is located in the Coastal Douglas Fir ecosystem, one of the rarest ecosystems in both British Columbia (BC) and Canada, and the smallest of BC's fourteen ecosystems. The Salt Spring Island Official Community Plan (OCP) identifies Centennial Park as an area with limited biodiversity and habitat value. Trees on the site are a seemingly hap hazard mix of native and ornamental species and include, but are not limited to, Garry oaks, double flowering cherries, magnolia, ornamental plums, ornamental evergreens, palm trees, and eucalyptus.

Many trees are leaning and/or have poorly formed canopies; an extremely large *Cedrus deodora* at the intersection of Gasoline Alley and Fulford Ganges Road conflicts with a hydro pole. Two beautiful, mature, arbutus trees are growing off-site east of the boardwalk, in the beach backshore zone (above high tide), amidst a small number of native plant species; there are few native species shrubs or groundcovers within the park itself.

A full tree survey and health assessment has not been undertaken but site reconnaissance, conversations with senior park maintenance supervisor Kirk Harris, and a 2012 high level Tree Management Plan prepared by Harry Williams, indicate that:

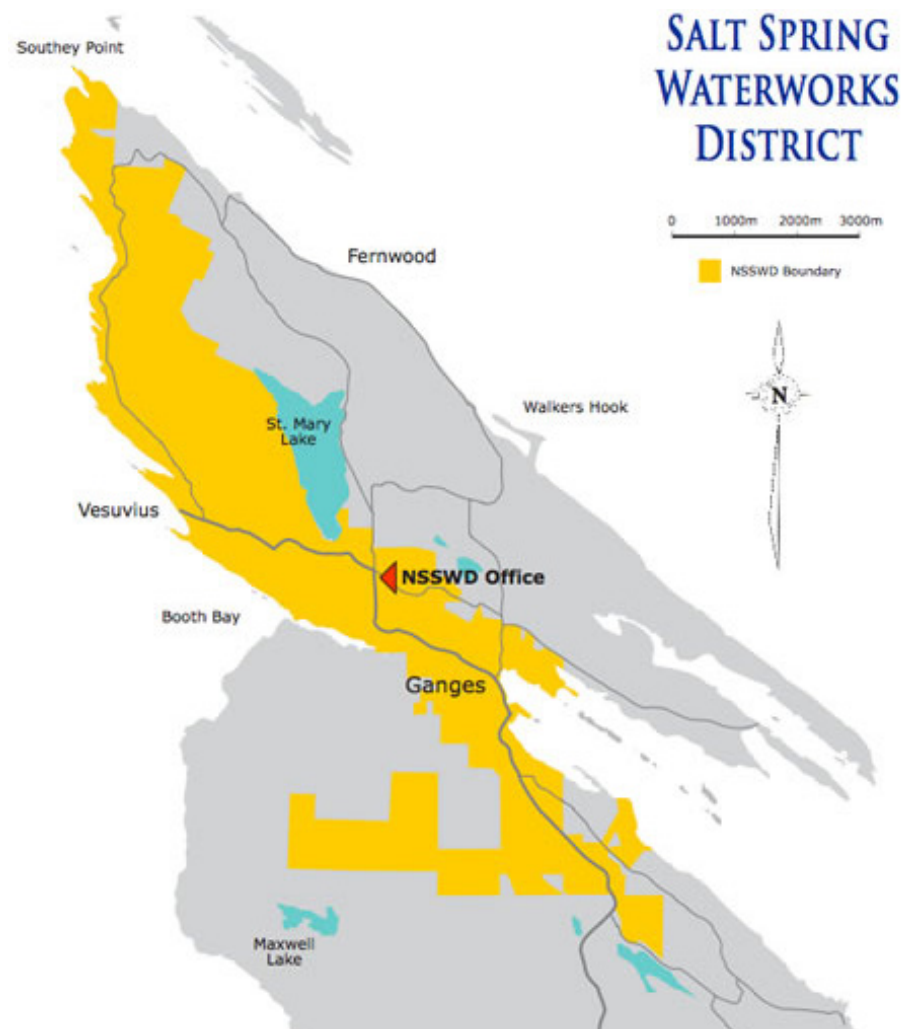
- many trees are poorly located and conflict with circulation, desirable park activities and site lines
- the oak trees by the washroom are heaving the adjacent asphalt paths and parking lot, and the oak trees in planters along Fulford Ganges are lifting the sidewalk (paths have been replaced with granular material since the 2012 Tree Management Plan was produced)
- all trees in raised planters are suffering from root constriction and declining; four of these are commemorative plum trees planted in memory of Japanese internment camp victims. None of the others have any historic value.
- several trees require pruning for tree health and park safety reasons

In addition to trees the park contains large expanses of lawn that are important for family picnicking, playing, and the Special Olympics weekly bocce.

There are also small areas of shrubs and perennials that add seasonal colour and interest; shrubs and perennials that appear healthiest are located near the north corner of the park at the Centennial Dock parking entrance, and in raised planters adjacent the boardwalk. Unfortunately, the planters create pinch points at the boardwalk.

Watering restrictions and deer browse have placed considerable stress on the park in recent years. Deer browse is an ongoing concern that must be adapted to; current and anticipated impacts of climate change made it necessary to enforce severe summer water conservation restrictions in 2015, and these will likely continue.

The North Salt Spring Waterworks District (NSSWD) mandated Level 3 water conservation restrictions in the summer of 2015. In 2016 they mandated Level 3 water conservation restrictions on June 1st, and raised them to Level 4 on June 29th. While it is expected that water conservation restrictions will be lowered to Level 1 for September and October, plants will have to be very resilient to survive the summer drought. Centennial Park falls within the NSSWD; see Figure 11.



Map 6: North Salt Spring Waterworks District



Off-site Arbutus



Exposed roots on berm

NSSWD Water Conservation levels are outlined in NSSWD Bylaw 274. Level 4 is a Comprehensive Water Ban that prohibits watering of public parks, open space, and sports fields. Watering of public parks, open space and sports fields is also banned under Level 3 but, under Level 2, these spaces may be watered upon application for and approval of a special watering permit.

3.2 Topography and Drainage

The site is quite flat except for two manufactured berms that form an amphitheatre on the west and north sides of the band shell in the south-east corner. Additionally, stairs and a ramp are required for access from Fulford Ganges Road in the north-west corner, as the road is higher than the park in that location. The slope from the north-east corner of the playground to the cenotaph is +/- 0.4%, and from the south-east corner of the park to near the intersection of Gasoline Alley and Fulford Ganges Road, +/- 0.7%. The slope along the Fulford Ganges frontage is also +/- 0.7%, with the high point near the west end of Gasoline Alley. The northern end of the park, near and to the north-west of the cenotaph, and the playground, are the lowest points in the park. There is an opportunity for surface water around the cenotaph to flow to the north tip of the park, however, the playground is a low point completely surrounded by higher grades. The berms create the highest point in the park.

The park is not seasonally flooded, but it drains poorly and becomes super saturated during prolonged rainy weather. This was noticed during site reconnaissance and confirmed in conversations with park users and senior maintenance personnel who indicated poor drainage can make the park unusable for up to 4-5 months per year. The poor drainage also contributes to high and repetitive maintenance costs, and limits the standard to which lawns and planted areas can be maintained. Additionally, there is potential for small pools of water to become stagnant and potential breeding grounds for mosquitoes. Unless drainage is addressed, maintenance problems will only increase: annual total daily precipitation in the park area is projected to increase by approximately 6% over the next +/- 50 years, and, at the same time, summer precipitation is expected to become lower by about 18%.³

Primary factors leading to poor drainage:

- Park is built on infill comprising mainly clay marine sediments (very poor infiltration).
- Surface flow to off-site is impeded by shallow grades (2% is the recommended minimum slope for grass area surface drainage)
- The Fulford Ganges public sidewalk creates a flow barrier as it is positioned at a higher elevation than adjacent park land.
- No lawn drains or other drainage system in park
- Spot elevations along the berms indicate that surface flow off their east and south sides discharges across the paved surface and boardwalk to the ocean. It is possible that, without the berms, more surface flow would find its way to the ocean.
- Site is generally lower than surrounding areas and may receive both surface and subsurface flow from surrounding higher ground

Waterfront adjacent the park is an inaccessible cobble/stone beach zoned 'Shoreline 1' by the Islands Trust. This type of shoreline is relatively resistant to erosion, however, there is evidence that wave action has started to undermine the infill slope under the boardwalk. Anticipated impacts from climate change will have further consequential impacts.

The natural waterfront boundary, and/or high water mark, was not included in the 2003 topographic survey provided by the CRD, however, storms at high tide currently result in significant spray across the park and review of the shoreline and infill slope indicates a combination of Sea Level Rise (SLR) and a storm at high tide will result in both park inundation and bank erosion. The park was recently identified in an SFU study as a High Coastal Hazard Area for sea level rise and storm surge



Saturated lawn, February 2016



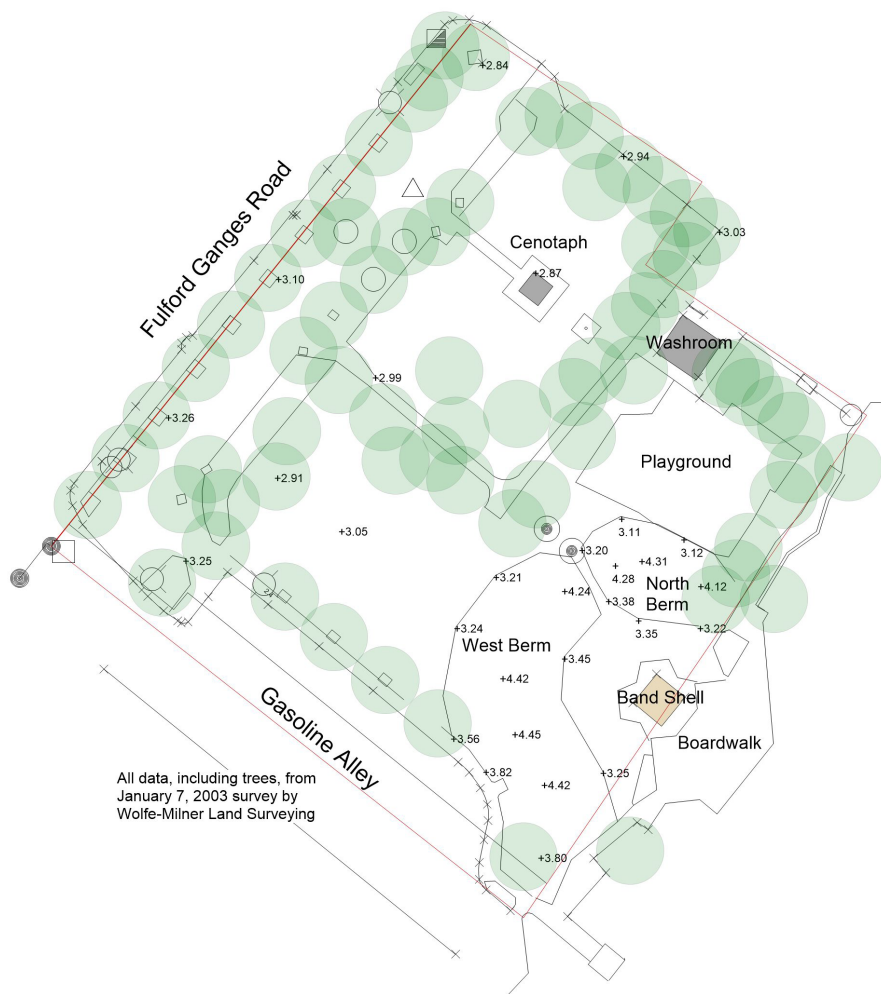
Pinch point on boardwalk

(has a rating of 5 on a scale of 5).⁴ There are currently 4- 5 severe winter storms, accompanied by south-easterly winds, annually.

Strategies to mitigate drainage issues in the park should be explored. At a minimum, the following should be considered:

A. Surface drainage - grading the site so that surface water flows to a permeable space (porous paving, rain garden, etc.) where it would infiltrate and ultimately discharge into the sea or be stored for irrigation; introducing drainage structures (catch basins, surface drains) in the lowest areas of the site); grading the site so that surface water flows to infiltration trenches preferably incorporated into linear landscape features); introducing prefabricated drainage systems specifically designed to collect and convey water away from problem areas.

B. Subsurface drainage – removing excess water from the soil profile (not water plants can use) with a prefabricated drain system.



Map 7: Topography (note: some trees have been removed since 2003)

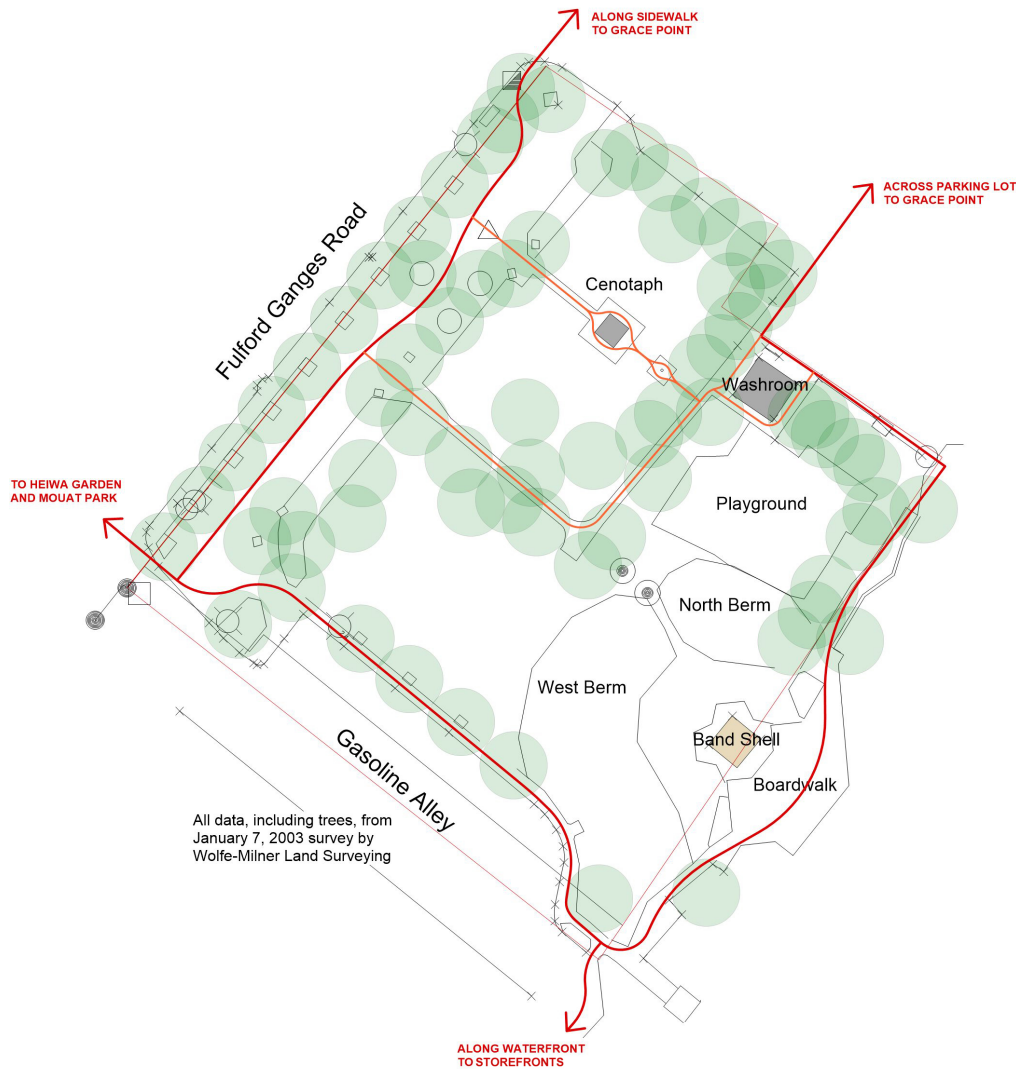
Note that when soil becomes saturated, water movement is reduced and water may be unable to flow to the subsurface drain. This shortcoming underscores the need to install surface drains in conjunction with subsurface drains, in order to maximize the ground water volume introduced into a subsurface drain. A complete drainage system incorporates both surface and subsurface drains.⁵ A qualified engineer should be consulted for the design of subsurface drainage systems.

Further hydrological investigation is required and should be completed prior to detail design or construction of park improvements.

3.3 Circulation

Currently, there are two large hardscapes devoted to circulation within the park boundary. The first is a 10.5m wide linear plaza across the Fulford Ganges Road (FGR) frontage. This functions as a public sidewalk except during the Saturday market when it is completely taken over by vendor stalls and related circulation. A 1.5m wide public sidewalk along FGR and flush to the plaza is also impacted by Saturday market activity.

The second large hardscape, also a venue for the Saturday market, comprises half of the Gasoline Alley complex drive aisle and 17 parking stalls within the south end of the park. A significant number of adjacent off-site vendor stalls and related circulation, south of the property line, creates the impression of a much larger Saturday Market in the Park than truly exists. The off-site market is not part of the CRD PARC regulated market, and does not adhere to the Market in The Park philosophy which is: "Make it, Bake it, Grow it" and "Vendor Produced and Sold". A 1.8 m wide sidewalk, immediately north of the on-site parking stalls, connects FGR to the boardwalk but is typically obscured and difficult to access during market hours.



Map 8: Circulation

Ganges monument and around 2 raised planters, 3 picnic tables, 3 bike racks, several garbage receptacles, a drinking fountain (broken), a barber pole (private installation in memory of a SSI barber; pole is rotting at base), and +/- 700m² of parking adjacent Gasoline Alley. The total vegetated area in the park is approximately 1400m² (0.14ha or +/- 19.5% of the park).

4.2 Playground

The playground includes an iconic rocking horse that has been in the park since 1967 (the only original feature remaining), a commercial climbing structure with slides and platforms, primarily geared towards young children, a tire swing and separate swing sets for babies and older children/adults, spring animals and sound tubes. During community engagement, stakeholders noted that climbing trees near the playground had been very popular; however, the best ones were removed over the last few years due to decay and/or other health/maintenance issues.

CRD staff heard from several residents that while natural play elements were desired by many Roundtable and Charette participants, their children, who engage with nature on a daily basis, would prefer challenging, contemporary and creative play apparatus with nets, high and steep slides, zip lines, etc. This is in keeping with a widespread playground trend towards 'risky' play. Parents cited the Garden City Park playground in Richmond as both a natural and contemporary playground reference.

4.3 Band Shell (Gazebo)

The band shell is located south of the playground, on the eastern property line adjacent the boardwalk. It is an open sided wood roof structure over concrete paving, positioned so concert goers sitting on the east-facing berms can

In addition to the 1.8m wide south end sidewalk there is a tree obscured, centrally located, 1.5m wide path that connects the plaza along FGR to the centre of the park before turning 90° towards the washrooms and the Centennial Dock parking lot, and a 1.5m wide path that provides direct, centred, access to the cenotaph from FGR, and extends to the aforementioned washroom path beyond.

4.0 Major Structures

4.1 General Inventory

The 0.72ha park is currently home to the cenotaph and flagpole, a First Vendor monument (with plaque), 4 plum trees honoring Japanese Canadians who lived on SSI (in planters & with plaque), a magnolia tree celebrating the IODE Centennial (with plaque), a time capsule (which also serves as casual seating), a +/- 405 m² playground, a +/- 3.8m² public washroom with exterior hand washing station for market day use, a gazebo/band shelter framed by berms, 15 benches, wood seating around the HMS

look at the performers and ocean beyond; it has seen limited use over the past few years. Stakeholders noted that this was, in part, due to lack of programming, but also because the grass berm seating has no shade, is often wet during shoulder and winter seasons, and is exposed to cold winter winds. It was observed at a Saturday Market in early August, 2016, that while market goers were looking for seating and/or shade opportunities everywhere, even to the point where some without dogs relaxed under the tree in the dog zone, none sat under the band shell.

The berms that form the amphitheatre around the band shell create a visual barrier between Fulford Harbour Road, and the band shell and ocean beyond. The berms effectively isolate the band shell. Several stakeholders and survey respondents noted they are especially uneasy in the park at night, particularly in areas where surveillance from the road is limited.

4.4 Washrooms

The existing washroom has been an ongoing concern for some years, and was identified by the CRD as a priority improvement project prior to the start of this Masterplan. Concerns around the washroom were reiterated over and over during public engagement, with nearly all participants indicating the washrooms require extensive renovation or replacement, and possibly relocation.

The CRD has budgeted \$400,000.00 for washroom improvements that are expected to begin in 2017. The washroom design and location will be influenced by this Masterplan. Roundtable and charette participants, and survey respondents, indicated the new washroom should:

- Be universally accessible (a given)
- Have form and character that is sympathetic to its prominent location and the overall ambiance/character of the upgraded park (not be a traditional public washroom design),
- Include water and electrical supply for adjacent outdoor activities (playground, dog park, picnics, drinking fountain /bottle refill, market wash-up, etc.)
- Consider sustainability initiatives, and implement sustainability strategies wherever possible (these may include, but are not limited to, water harvesting/recycling, green roof, use of renewable and/or recycled construction materials, garbage/recycling collection and disposal practices, LED lighting, waterless urinals, etc.)
- Be visible (no hidden entries)
- Potentially be part of a larger structure that offers additional park amenities
- Potentially be non-gender, or have a non-gender component

5.0 Health and Safety

5.1 Law Enforcement

Stakeholders, charette/roundtable participants and survey respondents repeatedly indicated that they frequently experience safety or intimidation concern when in the park, especially in the evening and particularly in the areas around the washrooms/playground and the sheltered viewing area near the southeast corner (off-site). The park has become a gathering place for some people who appear to have nowhere to go, and while many, or even most, may be harmless, unacceptable behaviour does occur and the RCMP noted at the Roundtable that the park is not very family-friendly at dusk or after dark. Because the Salt Spring RCMP are understaffed and don't often have time to get out and walk through the park, drive-by visibility is key. Maintaining clear site lines requires regular, time consuming shrub control by Parks. The berms are a considerable visibility impediment that cannot be addressed through maintenance.



6.0 Masterplan Recommendations

6.1 Public/Stakeholder Feedback

Stakeholders and residents identified the park as an important green and civic space in a fantastic location, home to the (mostly) beloved and economically important Saturday market and the continually growing Tuesday market, and a key venue for cherished seasonal events and community celebrations. At the same time, they were clear in their assessment of the park as underutilized and poorly laid out. They identified the playground as limited and outdated, and noted poor drainage, washrooms in need of considerable upgrades, safety concerns, trees in poor locations and/or declining health, limited ecological integrity and lack of First Nations recognition.

Priority recommendations/comments from stakeholders and citizen engagement participants:

- Provide universal accessibility and a safe environment for families.
- Replace or extensively renovate the washrooms.
- Remove the berms to increase visibility across the site and to enhance views of the ocean from Fulford Ganges Road.
- Collaborate with First Nations to incorporate traditional Salish elements in the park design.
- Replace high maintenance and failing plants with native and adaptive plants; remove all planters and, if the memorial trees are healthy, transplant them into properly prepared tree pits.
- Create a central gathering space that includes an attractive flexible use structure to support events such as concerts, carving/craft workshops, educational sessions, storytelling, art display, civic gatherings, etc. Structure is to reflect SSI uniqueness and contribute to overall ambiance and attractiveness of park. Consider a design competition for the structure.
- Maintain large open area for flexible use (bocce, picnicking, play, Frisbee, event seating, etc.).
- Enhance the playground; make it more challenging & interesting. Include contemporary features like nets and cables, and also natural elements like rocks, wood, stumps and water).
- Improve the cenotaph setting (no current genius loci, i.e. sense of place).
- Ensure there are views and connectivity to the park from Fulford Ganges Road during market hours (mitigate the 'market wall').
- Create comfort: more shade, improved drainage, more seating and picnic tables, lighting, free phone/computer connection, water source and drinking fountain/bottle fill.
- Improve Saturday market layout and park/market circulation.
- Improve overall park identity: strengthen the sense of entry; establish an attractive site structure and signage vocabulary that reflects and celebrates the uniqueness of the park and Salt Spring Island, and contributes to increased family use; include a generous amount of non-programmed open space for flexible use.

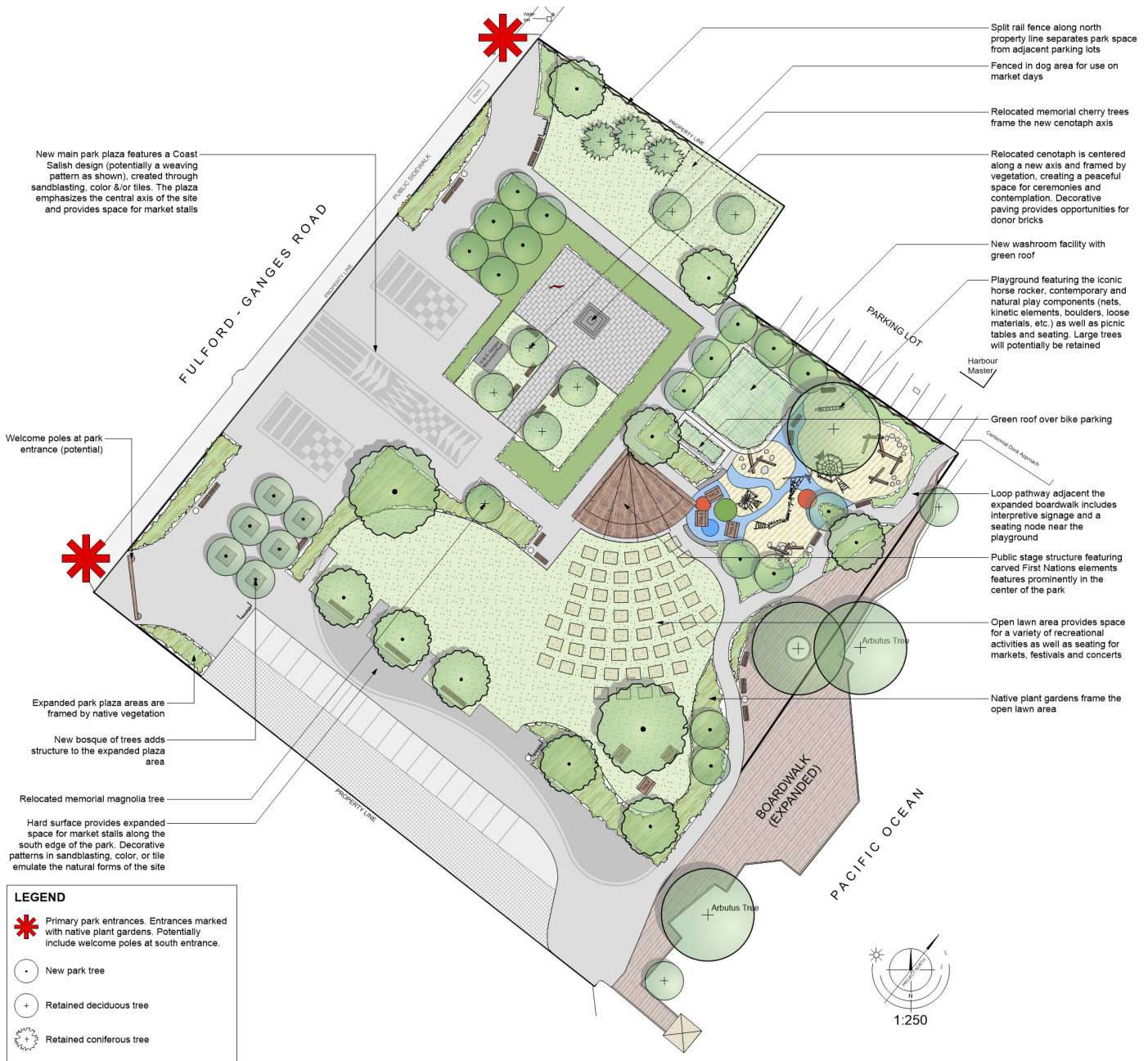
6.2 Plan Overview

The Centennial Park Masterplan (Plan) is presented as a balanced planning and conceptual design response, based on stakeholder and citizen engagement, to existing and projected civic, environmental, cultural, economic and recreational opportunities, as identified through site analysis, community engagement, and research. Note that while high level concepts based on First Nations input have been included in the Plan, all elements that specifically mention First Nations will require further consultation with interested First Nations to understand the best approach to implementation of their ideas in a respectful manner. In addition to stakeholder and resident input, the Plan considers maintenance constraints, anticipated climate change, and cost.

The Plan proposes site-wide improvements to improve park use, provide cultural recognition and advance environmental stewardship. Specific design components, identified through stakeholder and citizen engagement as critical to the park, are integrated with each other and simultaneously organized to maximize park use and minimize user conflict.

The key Masterplan components and recommendations are fully described in Section 6.3. They are:

Boundaries
Topography and Stormwater Management
Circulation
Vegetation
Saturday Market
Playground, Washrooms and Covered Bike Racks
Signage
Site Lighting



Map 9: The 15-20 Year Vision

6.3 Key Masterplan Components & Recommendations

6.3.1 Boundaries

The legal limits of Centennial Park should be understood and recognizable - edges are important and defining elements of all properties. Currently, Centennial Park's edges are fuzzy: on the north edge, both Centennial Dock parking and parkland cross the property line; at the southwest corner, the Fulford Ganges Road/Gasoline Alley intersection encroaches on parkland; and, on the ocean front, landscaping between the boardwalk and park appears to be, but isn't.

Recommendations:

- Reclaim the parkland on the north edge (and give back use of land outside the park). Define the north property line with a low fence that is in keeping with the proposed washroom and stage/shelter design vocabulary. Redesign will require coordination with the Harbour Authority.
- Repurpose the southwest corner of the property as park, and create one of two major pedestrian entrances from Fulford Ganges Road (FGR) in this location. This will increase park visibility, especially when entering Ganges from the south, and greatly improve vehicular and pedestrian circulation and safety, both major concerns in this area. Road redesign will require coordination and collaboration with other agencies and stakeholders.

- As part of proposed boardwalk improvements, remove planters immediately west of the boardwalk and expand the boardwalk to the property line; this will improve circulation by reducing pinch points, and create increased opportunities for non-obstructive viewing and seating.
- Although Centennial Park shares the Gasoline Alley parking lot drive aisle with its neighbour to the south, there is value in identifying the south property line, especially for the Saturday market where separation between 'Market in the Park' vendors and other market vendors becomes blurred. Consider demarcating the parking stalls or the drive aisle (minimum response) or parking stalls and drive aisle (preferred response) within the park boundary using texture and/or colour, for example: stamped/coloured asphalt, permeable paving, insets of brick, stone and/or other materials, and/or paint.
For inspiration see: <https://www.theguardian.com/travel/gallery/2013/may/28/portland-usa-street-art>

6.3.2 Topography and Stormwater Management

Fundamental site improvements are a critical aspect of upgrading the park. Berm removal will improve site lines and safety, increase usable open space, and, along with stormwater management and re-grading, contribute to improved drainage which will, in turn, extend the season of lawn usability.

Prior to work beginning on site, a detailed grading plan and on-site stormwater management strategy should be prepared. The grading plan, based on the hydrological and soil study and the master plan concept, should guide the detail design of master plan components and, together with the on-site stormwater management strategy, provide a framework for all development on the site.

Addressing drainage/stormwater management in the first phase of the master plan implementation is important for several reasons:

- it is sequentially logical in terms of construction phasing
- it responds to a primary issue identified in the park planning process by stakeholders and citizen engagement participants
- it is environmentally responsible
- it minimizes park maintenance
- it maximizes opportunities for park use
- it is forward thinking

Recommendations:

Recommended components of the Centennial Park on-site stormwater management plan include (suitability of non-vegetative components to be confirmed by engineering consultant):

- Grade the site so surface water flows to planting beds, rain gardens or permeable surfaces, or harvest it for re-use in toilets or irrigation, or collect it in a subsurface storage chamber where it will be treated before controlled discharge to the ocean.
- Install an underground drainage system in lawn areas if professional further assessment indicates it would be beneficial
- Consider use of engineered permeable paving systems in all large hardscapes (FGR plaza, south walkway, parking and drive aisle). Systems to include water treatment and controlled ocean discharge.
- Plant predominantly native and adaptive trees and shrubs which are well suited to the local climate and, consequentially, require less care to survive.
- Harvest water off roofs of new park structures (washrooms, covered stage, covered bike racks) for toilets and irrigation
- Create Absorbent Landscape
 - Include green roofs on the new park structures (washrooms, covered stage and covered bike racks)
 - Plant trees and shrubs
 - Bio-retention is an important stormwater management tool. All vegetation, but tree crowns especially, intercept anywhere between 15% and 27% of precipitation that falls on them. (never reaches the ground). Trees and shrubs also detain rainfall, i.e. slow it down before it reaches the ground, which in turn reduces surface flow volumes and mitigates erosion at outfalls and along the shoreline. Finally, all plants draw water from the soil to their leaves where evapo-transpiration occurs.
 - To prepare for grass lawns, cultivate a minimum 8% organic material into the sod or seed bed growing medium to improve infiltration rates and increase the soil's rainfall storage capacity To prepare for planting beds, cultivate a minimum 15% organic material into the planting bed growing medium for the same reasons. Before placing growing medium, ensure water does not pond on subgrade.
 - According to the GVRD Stormwater Source Control Design Guidelines 2005 a minimum depth of 300mm growing medium for lawns is required to store 60mm of rainfall. Note that increased rainfall storage capacity is not desirable in high traffic lawn areas unless the subgrade drains adequately

6.3.3 Circulation

The Plan uses circulation - the sidewalks, hardscapes and even the rubber surface in the playground - for accessibility and connectivity to areas within the park and the greater community, to define different use areas within the park, as a surface for art, and as a venue for art displays, the market, civic and community gatherings, and other activities. Locations of retained elements (cenotaph, memorials), potential locations for new structures (washrooms, covered stage), and optimum circulation patterns were carefully considered in order to achieve a harmonious park layout.

Recommendations:

- Create a continuous, minimum 2m wide, all weather and universally accessible loop path around the park, within the park's boundaries
- Replace the existing FGR plaza with one that is: a) less rigidly linear, b) highlights the park entry and draws people into the park, and c) recognizes that prior to construction of Centennial Park the area west of FGR was an important economic resource for First Nations. As the park's most significant hardscape, the plaza should be a multi-functional space that supports civic, cultural and community events including the market, and it should have aesthetic and cultural value on all days, in all seasons.
 - Details:
 - In collaboration with First Nations establish strong park entries at the north and south ends of the FGR frontage and within the paving in the central portion of the plaza.
 - Frame the central portion of the plaza with small bosquets, or strictly formal groupings of trees, to reference European arrival and, through careful positioning, show harmony with, and respect for, First Nations culture.
- Create a well articulated and centrally located physical connection between the plaza, the newly positioned cenotaph and the park interior.
- Create a significant hardscape around the cenotaph and, additionally, create a visually well connected and functional overflow space for memorial events (likely to be part of the FGR plaza). The design for the area should provide a respectful setting for the cenotaph and incorporate the memorial plaques currently scattered throughout the park. It would be useful for the detail design to allow for installation of future commemorative pavers and plaques.
- Support ocean front circulation and connectivity to Ganges by expanding the boardwalk to within the park boundary. The design should include a subtle demarcation of the park boundary. This relieves a pinch point on the boardwalk and provides an opportunity for increased seating and viewing without obstructing circulation. It also produces an ocean front venue for park activities requiring hardscape.
- Introduce a 2m wide fully accessible, non-wood, pathway parallel to but separated from the boardwalk (a simple rail may suffice for separation; note that the boardwalk is likely to be at a slightly higher elevation than the path in some areas). This path, edged with native species planting and interpretive signage, should support a cultural/ecological education opportunity, serve as a hardscape for stage/field viewing and provide a potential venue for pavement art. Should market vendors, buskers or other activities expand to the boardwalk (a distinct possibility), this path will provide non-obstructed circulation.
- Widen the southern walkway to create a significant access between FGR and the boardwalk (there isn't another route!). The 6m wide walk provides a surface for art, a venue for art/cultural displays, buskers, and other outdoor activities and events. It also contributes



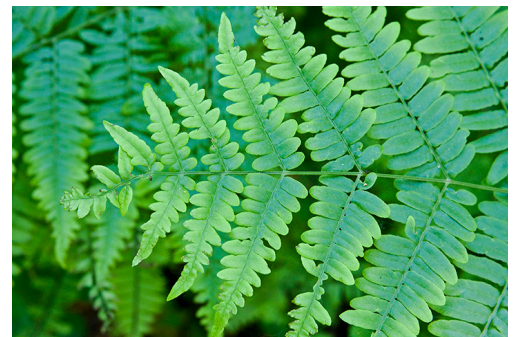
Painted cross walk



Permeable concrete



Kinnickinnick



Bracken Fern



Green roof

to an improved Saturday market layout with non-obstructed pedestrian access to the south end of the park, and between FGR and the boardwalk. Connectivity to the park interior is encouraged with three flanges and a threshold located between trees; these create informal access points into the open lawn, and interest to the north side of the walkway.

- Establish a 2m wide path at the north end to connect the northwest entrance to the washrooms, playground and park interior. This path is a link in the loop walk and supports park maintenance and stage activity set up. It can be widened if necessary to accommodate a specific maintenance vehicle.
- Include lighting at significant park entries and along all pathways.

6.3.4 Vegetation

The majority of park trees are either poorly placed, not healthy or a wrong fit, and the removal of many were recommended in a 2012 tree management report by certified arborist Harry Williams, and more recently by CRD parks staff. There is no evidence that any of the trees planted when the park was officially opened remain on the site today. Tree removal or relocation is necessary to allow for drainage improvements, structure replacement and new paths, all of which will improve accessibility and provide increased potential for park use. Memorial trees are to be retained and carefully transplanted to appropriate locations within the new layout; if transplanting fails the trees should be replaced as soon as reasonably possible.

New vegetation must be resilient and selected for its appropriateness to site conditions, park use, maintenance requirements, and anticipated climate change. It must be tolerant of dry summers, wet winters, and sea (salt) spray, and it must be deer resistant.

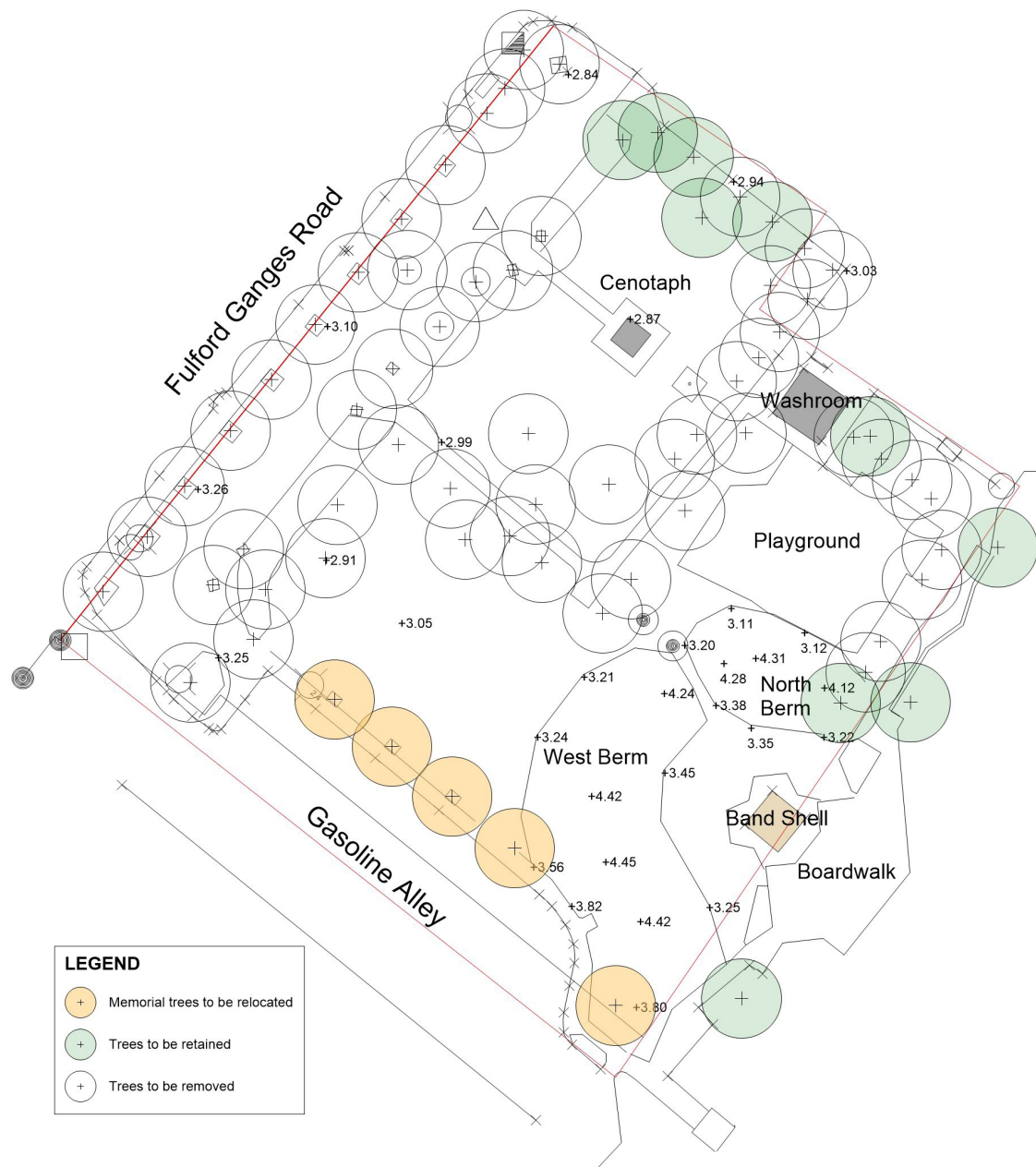
All planting should be carried out in accordance with current best practice and meet or exceed current BCSLA/BCLNA standards.

Recommendations:

- Carefully lift memorial trees (4 flowering cherries and 1 magnolia) and transfer them to a location where they can be temporarily heeled in and properly cared for until the site is ready for their replanting. All lifting, wrapping, transplanting and replanting is to be under the supervision of an ISA certified arborist or other registered qualified professional (RQP). The arborist or RQP should also prepare a maintenance program for off-site tree care.
- Remove all non-memorial on-site trees, except for:
 - ornamental evergreens adjacent the Centennial Dock parking lot and west of the Saturday market dog care area
 - trees within the Saturday market dog care area

Note that trees identified for retention are to be fully assessed by an ISA Certified Arborist to confirm their retention is practicable and appropriate. The arborist should prepare a management plan for any retained trees, taking into account anticipated grading and stormwater management changes, impacts of anticipated climate change, safety concerns (especially site lines), and maintenance constraints.

- Ensure tree planting in hardscapes (one bosquet) incorporates soil cells to provide a minimum of 15m³ growing medium per tree.
- Maintain an open lawn area for flexible use such as bocce, picnicking and seating for stage performances. Keep new trees to the perimeter of the site and around the playground; include strategically located long lived signature shade trees.
- Include child friendly planting in beds adjacent to the playground. This could include edibles, plants with fragrant flowers and flowers that benefit from picking, plants that bloom in different seasons, and plants that attract butterflies and beneficial non-stinging insects.
- Plant only native and adaptive trees and shrubs which are well suited to the local climate and, consequentially, require less care to survive. Exceptions might be considered for feature beds adjacent the cenotaph, however, seasonal water restrictions would make maintenance extremely challenging.
- Create a native plant garden along the east edge; include interpretive signage to describe its ecological and cultural significance. The signage should be part of a comprehensive design package, and should contribute to the integrity of the park.
- Maintain clear site lines by planting low growing shrubs and limbing or strategically pruning dense and/ or low branched trees.
- Fully remove all invasive vegetation found on site. Do not plant species that are known to be invasive in this region.
- Use grass seed blends or sod that is recommended for high use areas in locations with similar exposure, soil/ irrigation challenges, and maintenance expectations as Centennial Park. Seed selection should be appropriate for lawns maintained as Level 3 “Open Space/Play” areas, as described in the BC Landscape Standard 7th edition. Level 3 areas receive “a moderate standard of maintenance – the main objective being to maintain a generally



Map 10: Potentially retained and transplanted trees

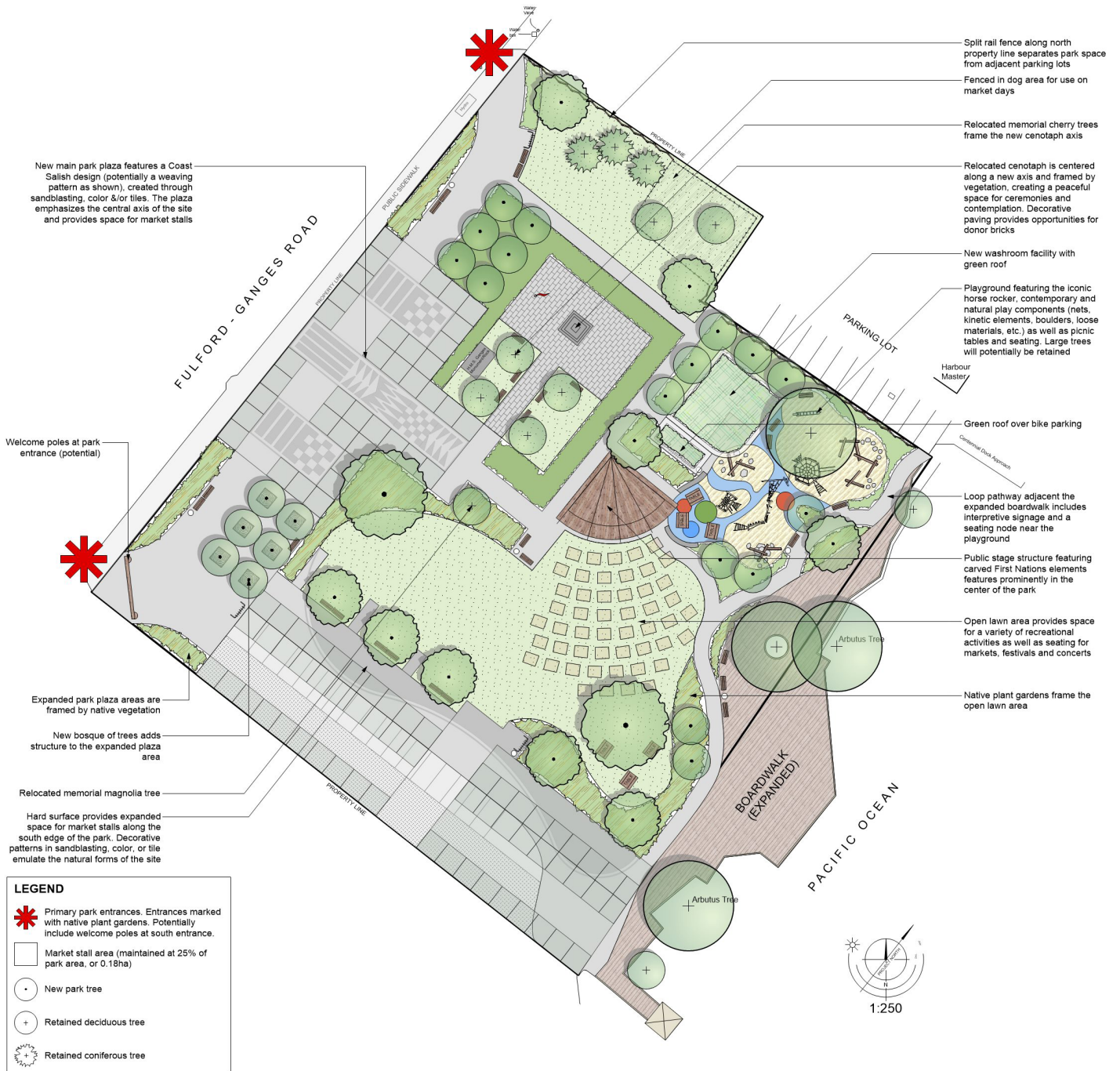
neat and moderately groomed appearance, with some tolerance for the effects of ‘wear and tear’ “.

- Understanding that there are no sure-fire dog resistant grasses, seed (or topdress and overseed) the temporary dog care area with a low maintenance mix of white or Dutch clover (*Trifolium repens*), Kentucky bluegrass and perennial ryegrasses. This seed mix has proven to withstand a broader range of dog activity than standard seed mixes used in the Greater Victoria area.

6.3.5 Saturday Market

The Saturday Market is an important economic contributor to Salt Spring Island and 25% of the site (0.18ha) is allocated for its use. The challenge, from a park planning perspective, is accommodating the market in space that can be reasonably used for other activities during non- market hours, and maintaining unobstructed access to, and function of, the park during market hours.

By reconfiguring the park layout and establishing a new circulation pattern, the Plan breaks down the current FGR ‘market wall’ while maintaining high market visibility and unobstructed park access. It locates stalls on FGR and along the south property line, and clarifies park boundaries so that ‘Market in the Park’ vendors are distinguished from



Map 11: Market Layout

other vendors. It includes electrical supply near the proposed stall locations and electrical and water supply outside the new washroom facility.

The Plan shows ninety-one 3mx3m stalls for reference purposes only. Market stalls could vary in size and, depending on size, more or less could be accommodated in the designated market footprint.

Recommendations:

- Expand the number of stalls on south property line; this requires widening the adjacent park sidewalk (see 6.3.3 Circulation). Provide inground electrical connections within the sidewalk to accommodate vendor requirements (do not allow electrical cords or other market paraphernalia to cross the sidewalk between market stalls and park lawn).
- Maintain park accesses and view corridors from the north, south and centre of the FGR park plaza, and along the south property line; do not locate stalls at the north or south end of the FGR frontage. This will ensure views of the park and ocean from FGR, a designated scenic route, are maintained and that pedestrians will be able to

access the park without having to walk through the market. It also provides controlled market entrances, mitigating spillover onto adjacent drive aisles and parking lots.

- The proposed layout provides an opportunity to reasonably expand the market off-site, to the boardwalk or the adjacent south property (already happening). As market demand increases, consideration should be given to extending the market to streets and alleys throughout Ganges.

6.3.6 Playground

In response to considerable input from stakeholders and citizen engagement participants, the Plan replaces the playground with a universally accessible, innovative and customized play environment. Through its layout and design the environment is intended to encourage socialization and imaginative play, physical activity, engagement with the environment, and risk taking. Local artists could be commissioned to create some components of the play environment, and, potentially, additional elements that could be placed throughout the park.

Recommendations:

- Design the environment to engage all the senses (sight, hearing, touch, taste, and smell), to encourage children to engage in imaginative play and interact with their environment, and include components with an element of risk.
- Include a significant amount of natural materials.
- Integrate the play environment with the larger park through path connections, soft edges, and consistent use of site materials, furniture, signage, etc.
- Place bike racks, a drinking fountain, washrooms, picnic tables, and seating for both adults and children close by.
- Include child friendly plantings, low shrubs that don't obscure site lines, and trees for shade.
- Use a mix of universally accessible safety surfacing to create interest and scale (engineered wood fiber, rubber). Include subsurface drainage if necessary to maintain year round use.
- Retain the icon rocking horse.
- Provide a water source (hose bib) near the play environment for maintenance purposes.

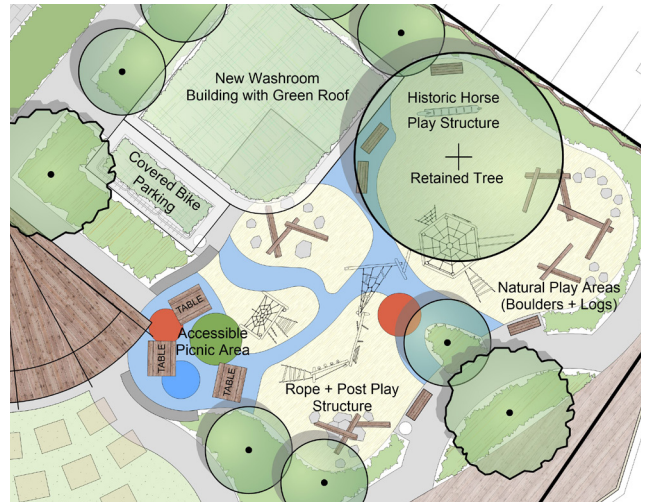
6.3.7 Washrooms, Shelter (Gathering Place) & Covered Bike Racks

The Plan recommends locating the new washrooms and covered bike racks in the vicinity of the current washroom, and the new shelter or covered 'gathering place' near the centre of the park. Their proximity to each other is deliberate and intentionally establishes a small service area within the park. In accordance with Section 7.5.3 of the Land Use Bylaw, 50% of bicycle parking must be sheltered from precipitation and maximum allowable lot coverage (all structures) is 5%.

The shelter should accommodate and support a wide range of activities, including concerts, presentations, ceremonies, craft/art displays, workshops, theatre, dance, storytelling, picnicking and recreational activities such as aerobics, tai chi and yoga. The washrooms should include baby change areas and family and gender neutral options. Both shelter and washrooms must be accessible and vandal resistant; doorways are to be well lit and highly visible.

Recommendations:

- Create a comprehensive, vernacular design strategy for new



Map 11: Potential playground



Terra Nova Adventure Park, Richmond, BC



Timber Tangle by Richter Spielgerate



Rammed earth building, Saanich, BC



Park signage



Recessed surface lighting

structures, signage and site furniture; the strategy should reflect the unique artistic character and cultural roots of Salt Spring Island.

- Build structures out of resilient, sustainable and local materials such as rammed earth, heavy timber and stone, and incorporate sustainability features such as solar panels, green roofs, water harvesting, and passive house principles, etc., wherever practicable. (Saanich recently completed a rammed earth pump station with public washrooms in the Gorge Waterway Park)
- Provide water and electrical supply to the shelter, and washroom interior and exterior. An accessible drinking fountain should be included in the area.
- Provide computer/phone charging stations at the shelter. It would be ideal to also provide charging stations at picnic tables and benches.
- Provide a bike charging station and bike kitchen in the covered bike rack area.

6.3.8 Signage

Signage is an important communication tool that can, when well designed and located, strengthen park identity while providing wayfinding, interpretive, educational and recreational information. Park signage should be developed as part of the comprehensive design strategy for all structures within the park, and should be customized for target audiences and locations. All forms of signage should be considered: traditional free standing, graphics/shapes on structures or paving, free form, QR codes.

Recommendations:

- Incorporate park identification into the entry designs at the north and south ends of the FGR frontage. Park identification should be visible in the dark and all weather.
- Incorporate interpretive signs along the path adjacent the boardwalk. Use HR codes for extensive information and/or sound.
- Include an interpretive sign in the cenotaph garden.
- Add additional signage as may be determined beneficial, but do not create sign pollution!

6.3.9 Site Lighting

Stakeholders and citizen engagement participants unanimously supported lighting improvements, citing current insufficient lighting as a safety concern and major contributor to poor use at dusk and in the evening.

Installation of low level, vandal resistant, bollard or recessed surface lighting should be considered for pathways and the cenotaph garden. Additional lighting should be considered for major park entries (north and south end of the FGR frontage), the central service area (washrooms, shelter, covered bike racks), and, ideally, incorporated into play environment elements. Down lights in trees, and benches with built-in lights should also be considered (colours could be changed for seasonal interest).

Recommendations:

- Light fixtures should be either hard wired LED or solar powered, and installed in such a way as to limit intrusion on the night sky, and prevent spill over into neighbouring properties

7.0 Implementation

7.1 Phasing

The Centennial Park 15-20 Year Masterplan represents a considerable financial outlay and will need to be approached in phases. It is important that the park remain accessible, or partially accessible, during most of the construction period, and that work be carefully planned and scheduled to minimize damage to the environment and protected elements.

Successful development of the Plan will be, in part, contingent on understanding and mitigating the existing drainage issues and providing appropriate growing medium for new vegetation. An engineering investigation will be required to determine fill properties and create a comprehensive grading and on-site stormwater management plan. It is likely that the hydrology and soils/fill investigation and report would take approximately two to four weeks and the grading/drainage plan another two-three weeks.

It would be ideal from a construction and drainage standpoint to complete all earth works at once, however, phasing by park areas is more realistic from a budgeting perspective. Recommended phasing is provided below.

Note that in addition to the recommended phasing, the following work can take place at any time, as funds allow:

- Trees to be temporarily transplanted to another site may be moved (best done in fall) and trees intended for retention assessed by a qualified arborist. After assessment and with the exception of the Sitka pine 'Christmas tree', trees recommended for removal may be felled. That said, it may be beneficial to keep trees on site until the area they are located in is being developed. This will mitigate the impact of removal, and maintain some shade and ecological benefit during the course of construction.
- The Sitka pine that is traditionally decorated for Christmas is to be retained and assessed at the start of Phase 3. Critical root zones of retained trees must be maintained at current grades and protected with appropriate fencing. Should the Sitka pine be found suitable for retention, requirements for its long term success and necessary adjustments to the masterplan will be reviewed.
- Significant park elements – memorial plaques, time capsule, rocking horse, etc., should be carefully removed from the park for safekeeping during earth works, and then reinstated. The cenotaph should be protected with appropriate fencing and carefully relocated on site to its new position once the receiving area is prepared.

All new vegetation will require watering until established; establishment is typically considered to be 2-3 years. Trees should be planted at 7cm-9cm calliper whenever possible; they will require special attention to ensure root balls do not dry out. Given that the park will not have irrigation, the use of low cost tree watering devices such as 'Tregator' watering bags is recommended. Planting in the fall is also useful as it takes advantage of winter rains for root establishment.

Phase 1

1. Complete a site wide topographical survey, and soils and hydrological investigation, and prepare a grading/drainage plan that supports the 15-20 Year Vision Plan and on-site stormwater management. This is a critical first step (much of the work may already be completed). Once a drainage/grading plan is in place the first phase of design/construction can begin.
2. Using the masterplan as a guide, prepare a detail design for new washrooms and include an area of landscape transition as part of the design. The detail washroom design is to include drinking fountain, hose bib(s), extended roof for protected bike parking, circulation/access and other features recommended in report. It must incorporate relevant aspects of the new grading/drainage plan, and indicate how new grades will ease to existing conditions. The design may require temporary grading and/or servicing until adjacent areas within the park are completed.
3. Move offsite any trees or significant park elements that fall within the washroom construction zone, and are to be retained but relocated. Have an arbourist assess trees identified for retention on masterplan, and erect protective fencing around trees deemed suitable for retention near or in the construction zone.
4. Undertake demolition as required; construct new washrooms and install related landscape and site services.

Phase 2

1. Remove the berms and band shell and, using the masterplan as a guideline, prepare a detail design for the open lawn area, expanded boardwalk and loop pathway. The detail design is to incorporate relevant aspects of the current grading/drainage plan, and indicate how new grades will ease to existing conditions. The design may require temporary grading and/or servicing until adjacent areas within the park are completed.
2. Move offsite any trees or significant park elements that fall within the Phase 2 construction zone, and are to be retained but relocated. Have an arbourist assess trees identified for retention on masterplan, and erect protective fencing around trees deemed suitable for retention near or in the construction zone.
3. Undertake site work and construction as required; install related site services.

Phase 3

1. Assess the Sitka pine's health and practicability for retention. If the pine is found to be suitable for retention, requirements for its long term success and impacts on the masterplan are to be reviewed. CRD is to determine a process for evaluation and potential masterplan adjustments.
2. Using the masterplan as a guideline (adjusted if necessary for retention of the Sitka pine), prepare a detail design for all plaza areas, primary park entrance features and the new stage/shelter. The design will include permanent primary walkway connections between the plaza, stage/shelter and washrooms. Incorporate First Nations elements into the park entrance features, stage/shelter and plaza design from the start; design details are to be determined jointly with First Nations. The detail design is to incorporate relevant aspects of the new grading/drainage plan, and indicate how new grades will ease to existing conditions. The design may require temporary grading and/or servicing until adjacent areas within the park are completed.

3. Move offsite any trees or significant park elements that fall within the Phase 3 construction zone, and are to be retained but relocated. Prior to move have an arbourist assess trees and move only those deemed suitable for transplanting. Protect any trees to be retained in or near the construction zone.
4. Undertake site work and construction as required; install related site services. Note that installation of the primary park entrance features could take place in Phase 4, but must be planned for in Phase 3.

Phase 4

1. Using the masterplan as a guideline, prepare a detail design for the new cenotaph area and related circulation. The detail design is to incorporate relevant aspects of the new grading/drainage plan, and indicate how new grades will ease to existing conditions. The design may require temporary grading and/or servicing until adjacent areas within the park are completed.
2. Move offsite any trees or significant park elements that fall within the Phase 4 construction zone, and are to be retained but relocated. Prior to move have an arbourist assess trees and move only those deemed suitable for transplanting. Protect any trees to be retained in or near the construction zone.
3. Undertake site work and construction as required; install related site services. Transplant memorial trees back to the park. (4 cherry and 1 magnolia). Reinstall the cenotaph, memorial plaques and time capsule. Install primary park entrance features if not installed in Phase 3.

Phase 5

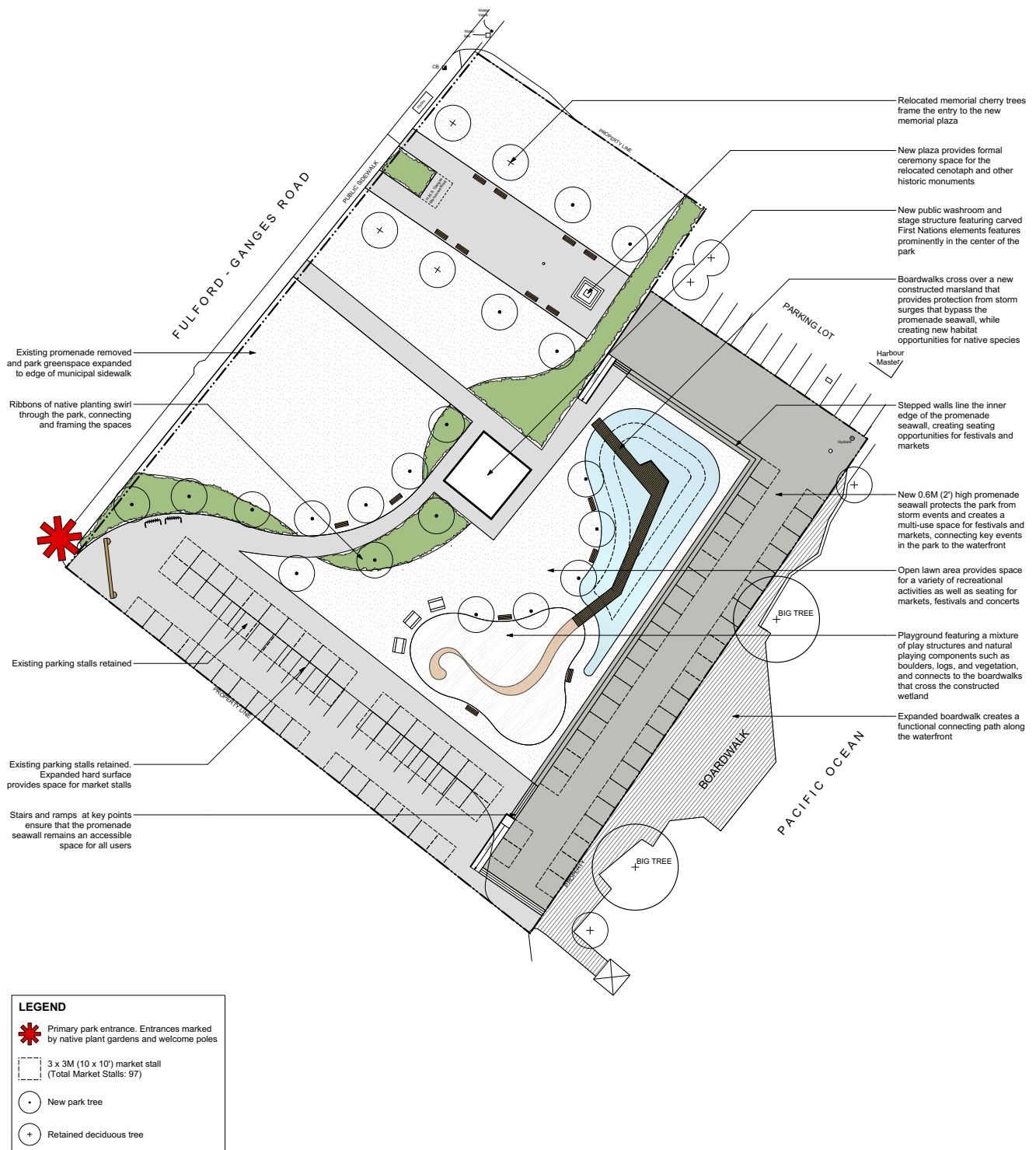
1. Using the masterplan as a guideline, prepare a detail design for the play space and all remaining park areas. The detail design will include final resolution of the grading/drainage plan; all temporary grading and/or servicing remaining in the park is to be replaced with permanent grading and/or servicing in this phase.
2. Move offsite any significant park elements that fall within the Phase 5 construction zone, and are to be retained but relocated. Protect any trees to be retained in or near the construction zone.
3. Undertake site work and construction as required; install related site services.

8.0 Endnotes

1. *Driftwood, Thursday, June 30, 1966* <http://saltspringarchives.com/driftwood/1966/June30-1966.pdf>
2. *Gulf Islands Driftwood. Thursday, July 13, 1967.* <http://saltspringarchives.com/driftwood/1967/July13-1967.pdf>
3. *Isabelle Larocque, The Hydrology of Salt Spring Island, British Columbia, (thesis) 2014.* http://pics.uvic.ca/sites/default/files/uploads/publications/Larocque_Thesis.pdf
4. *SFU, Risk Assessment Framework for Coastal Aquifers Study, 2015.* https://www.sfu.ca/personal/dallen/Risk_to_Coastal_Bedrock_Aquifers.html
5. *NDS, Inc., Principles of Exterior Drainage - Short Course, 2007 NDS Inc.* www.NDSPRO.com

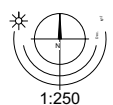
9.0 Appendices

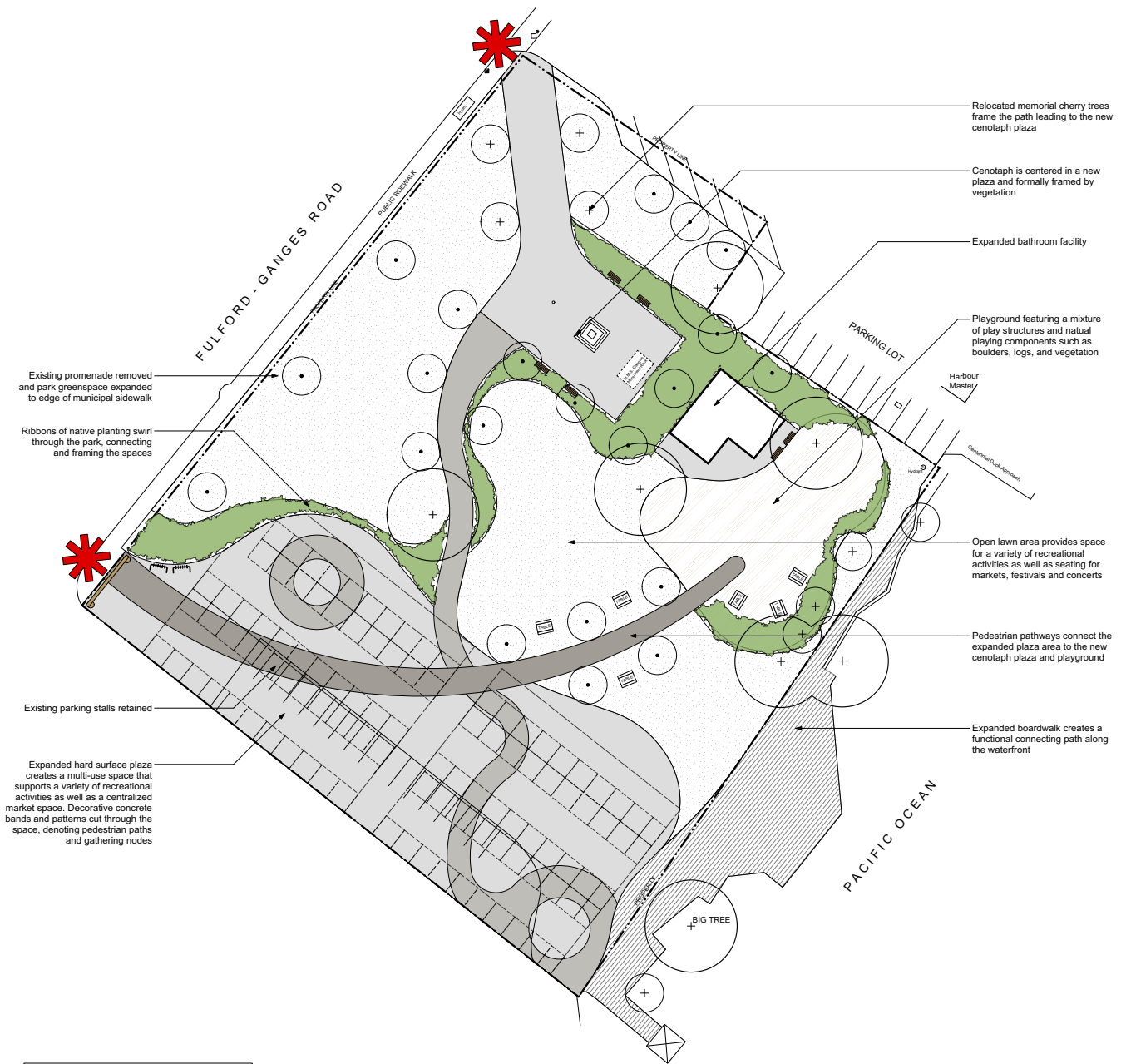
9.1 Appendix A: Preliminary Draft Plans




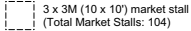


CENTENNIAL PARK MASTERPLAN CHARETTE OPTION I

Preliminary Draft Plan #1





LEGEND

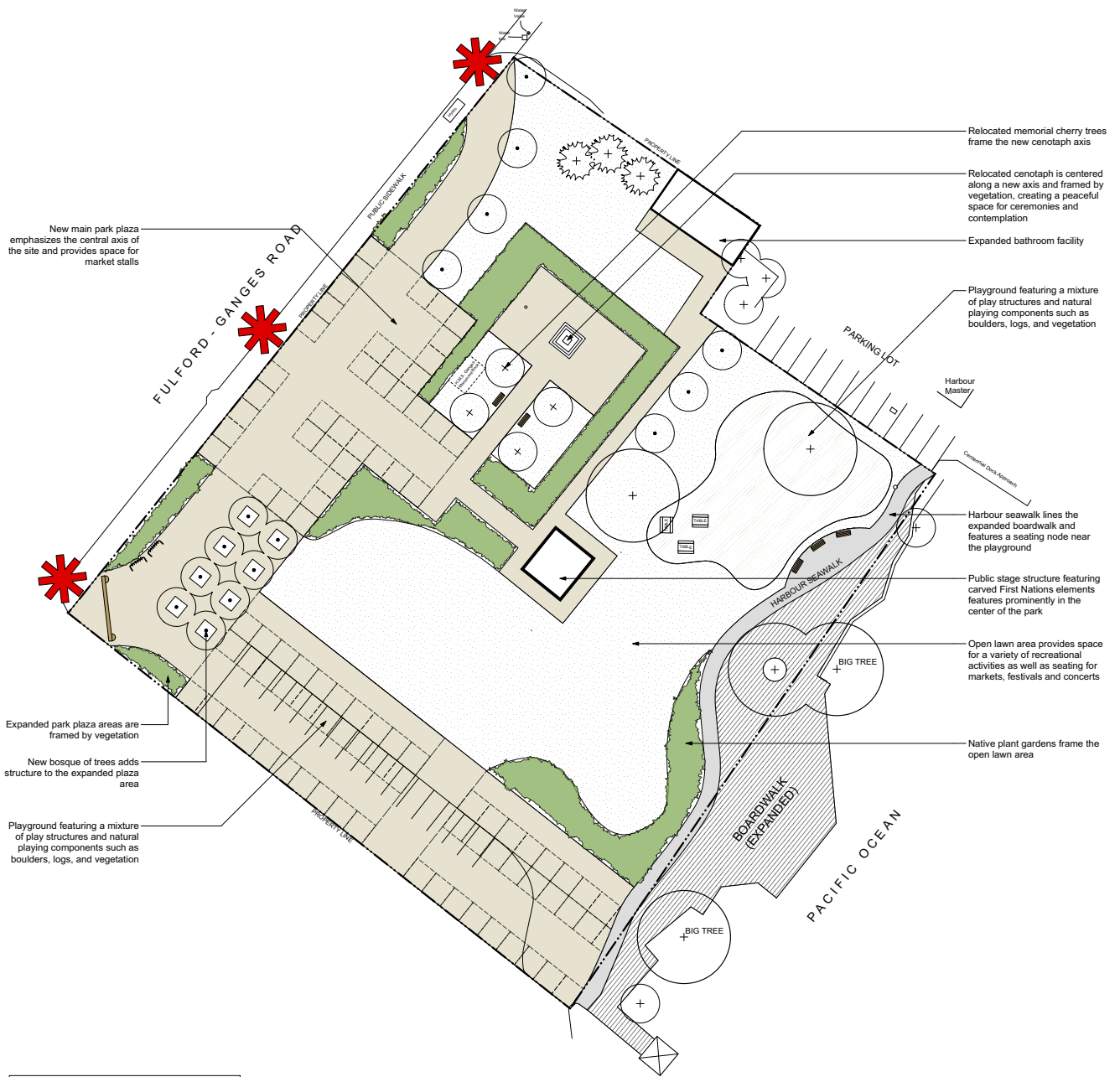
-  Primary park entrance. Entrances marked by native plant gardens and welcome poles
-  3 x 3M (10 x 10') market stall (Total Market Stalls: 104)
-  New park tree
-  Retained deciduous tree








May 31-16

CENTENNIAL PARK MASTERPLAN CHARETTE OPTION II

Preliminary Draft Plan #2



LEGEND

-  Primary park entrances. Entrances marked by native plant gardens and welcome poles
-  3 x 3M (10 x 10') market stall (Total Market Stalls: 91)
-  New park tree
-  Retained deciduous tree
-  Retained coniferous tree



CENTENNIAL PARK MASTERPLAN CHARETTE OPTION III

Preliminary Draft Plan #3

May 31-16

9.2 Appendix B: Summary of Roundtable Event Discussion

At the Roundtable event for Centennial Park, 36+ participants discussed a vision for the park and elements that would make an ideal place in Ganges, Salt Spring Island. Hosted by the CRD and LADR Landscape Architects, the afternoon activities began with a brief introduction of the project and facilitators along with an overview of the format for the event. FN Rep, of the x Nation gave a blessing and recounted regional traditions. A presentation on the history of the site and its' current conditions was reviewed prior to breakout groups finding their way to their tables.

There were 4 breakout groups, comprised of 6-10 members each, a facilitator, and a note-taker. The groups discussed broad priorities and personal accounts of park usage, experience, and perception. Common themes emerged from the small groups and are highlighted below. A full account of each groups' discussion is provided in Appendix A.

Theme 1: Market

The Saturday Market has become a tradition in Centennial Park. It uses its' maximum allowable area - 25% of the park area - and market organizers see no reason this maximized use would be reduced. Weekday and seasonal market use was discussed minimally, but some noted the functionality challenges faced by the larger Saturday Market were also applicable. Challenges for the markets include existing trees in planters cause problems for layout, organization, and circulation, shelter from sun is in demand, and parking capacity on Saturdays. The opportunity of the park to maintain and increase tourism is desired and the participants felt that a major strength of the market was its role as economic driver for the community. There was discussion of the desire to expand the market into Ganges and allowing collaboration and mutual benefit between organizations/retailers.

Theme 2: First Nations

The event participants were unanimous in their desire to see increased integration of First Nations traditions into the community and Centennial Park. The groups discussed a gathering place, welcome pole, a traditional structure, and carvings at the park. Native plantings for traditional medicinal uses could be highlighted and provide educational and tourism opportunities. Discussions around changing the name of Centennial Park were supported by the participants and a bilingual naming convention was appreciated by all.

Theme 3: Accessibility and Circulation

A strong desire for increased accessibility in the park was put forward by the participants. A clearer wayfinding approach to park entrances and internal circulation was considered a high priority. The existing wet conditions posed a challenge for accessing green space in the park.

Theme 4: Parking at the Park

Parking was a theme that had differing views for participants. Some felt a need for increased parking in general, others felt parking was a challenge only on Saturday Market days.

Theme 5: Dogs in the Park

Dogs are currently not permitted in the park. This was something the majority of the participants felt should remain for the park. It was acknowledged however that visitors, especially tourists at the Saturday Market travelling from abroad, are not always aware of the park rule and that having a doggy daycare is desirable on market days. The majority of the participants would like to see the dog area be revisited in terms of layout and regulation and consideration should be given to a temporary structure.

Theme 6: Safety

The participants agreed that the park does not always present a safe atmosphere in the community. They were concerned with user safety, specifically at night. They also acknowledged that Salt Spring Island valued inclusivity, therefore addressing the needs of the transient population was a critical factor to be considered for the park and perhaps a greater discussion point for the community than just in the park master plan.

Theme 7: Water Access

Participants discussed the value of visual and physical access to the ocean from the park. There were mixed options - some felt that visual access was all that was needed, others felt getting down to the water was highly desirable. Participants discussed potential pathways extending beyond the park and linking off-site places.

Theme 8: Gathering, Performance, and Art Space

Discussions included the desire to include central performance and art space. These spaces could be flexible for shelter and shade outside of performance and art space and serve the community as a gathering focal point.

Overall, the participants strongly felt that Centennial Park was for everyone - children, seniors, tourists, and residents - to use every day. They felt that the space had many desirable elements, just some were in the wrong places. They were interested in a cohesive master plan that provided clarity of function, flexibility of space, and distinctive qualities that enhanced Ganges.

9.3 Appendix C: Survey & Summary of Results



Salt Spring Island Electoral Area T: 250.537.4448
 145 Vesuvius Bay Road
 Salt Spring Island, BC, V8K 1K3 www.crd.bc.ca

Survey Questions

Centennial Park Master Plan | February 10, 2016

1. Do you live on Salt Spring Island? YES/NO
 - If you answered YES, which area of the Island do you live in?
 - a. South End
 - b. North End
 - c. Ganges Village Area
2. Please indicate your age:
 - a. Under 20
 - b. 20 – 29
 - c. 30 – 59
 - d. 60 and over

3. Do you visit Centennial Park? YES/NO

4. Please indicate the frequency of your visits at different times of year:

	Never	Less than once per week	Once per week	Twice per week	More than Twice per week
a. January to March					
b. April to June					
c. July and August					
d. September and October					
e. November and December					

5. How long do you usually stay at the Park?
 - a. Less than an hour
 - b. One to two hours
 - c. More than two hours
6. How do you usually get to Centennial Park?
 - a. Walk
 - b. Drive
 - c. Cycle
 - d. Other _____

7. Are you a vendor at the Saturday Market?



Making a difference...together

Salt Spring Island Electoral Area
145 Vesuvius Bay Road
Salt Spring Island, BC, V8K 1K3

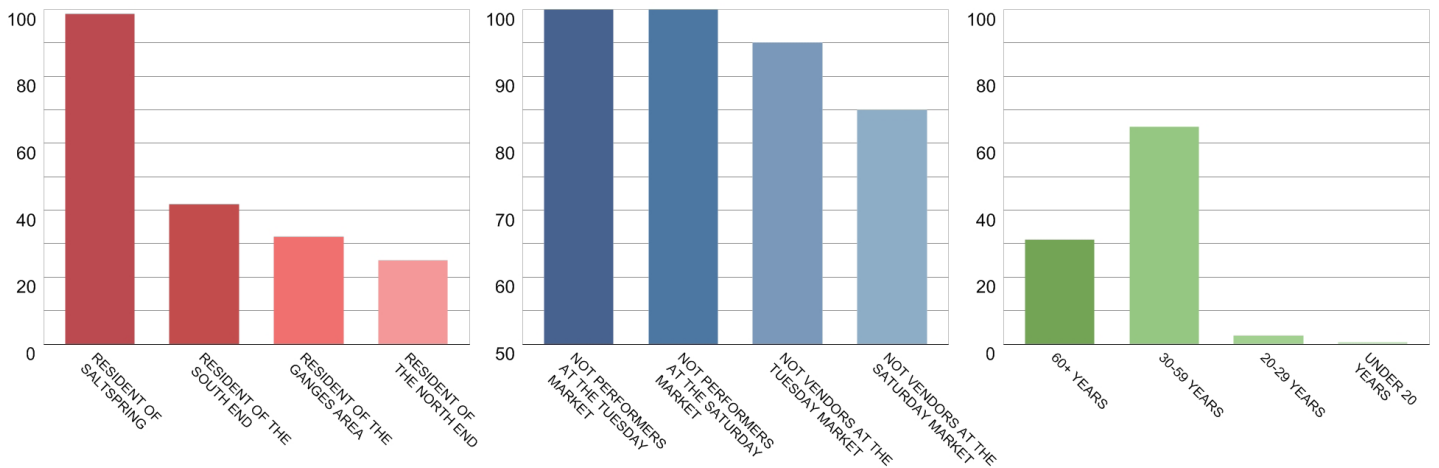
T: 250.537.4448
www.crd.bc.ca

8. Are you a performer at the Saturday Market? If yes, what type of performer?
9. Are you a vendor at the Tuesday Market?
10. Are you a performer at the Tuesday Market? If yes, what type of performer?
11. What are your primary reasons for visiting Centennial Park (check all that apply)
 - a. The Saturday Market
 - b. The Tuesday Market
 - c. Other Special Events (such as Remembrance Day, Sea Capers and Canada Day)
 - d. The playground
 - e. The cenotaph
 - f. The public washrooms
 - g. Using the lawn for activities
 - h. Using the lawn or benches for sitting
 - i. Using the gazebo for activities-for sitting
 - j. Walking along the boardwalk
 - k. Walking along the sidewalk
 - l. Ocean views
 - m. Other _____
12. What do you feel are the most successful aspects of the park?
13. What do you feel are the least successful aspects of the park?
14. Is Centennial Park important to you personally – why or why not?
15. What do you feel is the most important role that Centennial Park **should** play?
16. What would you like to see included in the redevelopment of Centennial Park in the next 5 – 20 years:
 - a. Improved safety and natural surveillance
 - b. Improved accessibility (for pedestrians and wheelchairs)
 - c. Improved connectivity to other trails and boardwalk
 - d. Improved bike parking
 - e. First Nation and other cultural references
 - f. Improved ocean views
 - g. Improved market layout
 - h. New play environment
 - i. Improved event and performance space
 - j. Improved washrooms
 - k. Improved seating
 - l. Other _____
17. Is there anything else you would like to share about Centennial Park or other comments you have for the Master Plan Update process?

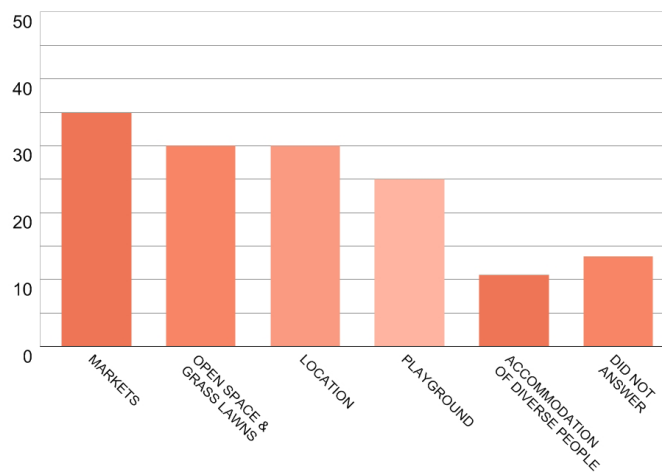
HOW MANY PEOPLE RESPONDED TO THE SURVEY?



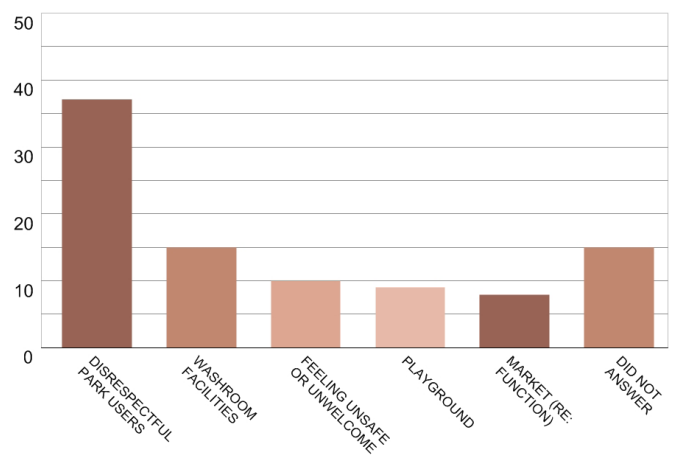
WHO RESPONDED TO THE SURVEY?



WHAT ARE THE PARK'S MOST SUCCESSFUL ASPECTS?



WHAT ARE THE LEAST SUCCESSFUL PARK ASPECTS?



Summary of 401 written responses to the question 'What do you feel are the most successful aspects of the park?'

160 people commented that the markets were among the most successful aspects of the park.

Additional comments: could there be more vendors within same space?; Tuesday market seems to have a more 'local' flavour that some people like; shoulder season less busy & preferred by some locals; is an economic concern & needs continued support; very successful but should not dominate the park; not as good as it used to be; kids activities & buskers/music associated with markets is wonderful; great place to take guests; also a few comments that the markets were over rated and took up park space

142 people commented that the open space / grass lawns were among the most successful aspects of the park.

Additional comments: open space allows for community gathering, family/friend socializing & making new friends, picnicking, informal play, provides a very welcome green space at the heart of Ganges (the Town Green), like programmed activities, like to lay in the sun. Related comments: 2 responses specifically mentioned liking the picnic tables. Additional comments referring to 'grass seating' are likely referring to the berms & are not included here.

138 people commented that the location was among the most successful aspects of the park.

Additional comments: proximity to shops, ocean, town centre and food vendors is very important. Additional comments are accessibility, views & parking.

121 people commented that the playground was among the most successful aspects of the park.

Additional comments: while most that commented on the playground really liked it, a few indicated it was successful because there was nothing else & should be updated, the horse was mentioned as iconic (a keeper).

55 people mentioned that the park's ability to accommodate diverse activities and types of people was among the most successful aspects of the park. This aligns with open space to some extent.

Additional comments: community space where festivals, rallies and civic gatherings can take place; park is for everyone including those that appear to be homeless.

51 people mentioned the gazebo/band shell was among the most successful aspects of the park; however in their explanation it seemed like having a clearly identified focal point for entertainers, perhaps sheltered, was the important feature.

Additional comments: lots of love for organized music in the park, a return to concerts like those held in the 80s and 90s would be welcome, need room for dancing, would like to include movies and other fun family friendly activities.

45 people mentioned that the boardwalk is among the most successful aspects of the park

Additional comments: wonderful opportunity to walk by the ocean; would be better if it extended in both directions; wish dogs could go on boardwalk as is a safe & accessible place for those with mobility issues

44 people mentioned that the trees and gardens/landscaping were among the most successful aspects of the park

Additional comments: love the spring flowers, like the opportunity to be in sun or shade, kids like to climb on the trees (somewhat rare opportunity), the donated trees planted by locals are very important

35 people mentioned that the beautiful views and park beauty are among the most successful aspects of the park

Additional comments: sitting & watching the ocean is wonderful; public access to an ocean view is wonderful. An additional 2 respondents mentioned the design/layout as among the most successful aspects of the park

23 people mentioned that the washrooms were among the most successful aspects of the park

Additional comments: others called them scary

20 people mentioned that festivals & special activities (lantern festival, chili cook off, concerts, etc) are among the most successful aspects of the park

18 people specifically mentioned the grass hills/berms as among the most successful aspects of the park

Additional comments: being able to sit on the grass hill and view the ocean & playground is great, love being able to picnic on the hill & lie in the sun, young kids like to run/roll down the hill, provides great grass seating

17 people mentioned the cleanliness and excellent upkeep of the park was among the most successful aspects of the park

14 people specifically separated music from other activities and mentioned that music was among the most successful aspects of the park.

13 people mentioned the users themselves were among the most successful aspects of the park

10 people mentioned the cenotaph was among the most successful aspects of the park

Additional comments: those that mentioned the cenotaph identified it as a park priority & one called it the 'soul of the park & village'; one called it the 'local symbol of confederation'

9 people mentioned the temporary SPCA doggy day care as among the most successful aspects of the park

7 people mentioned easy accessibility as among the most successful aspects of the park; an additional respondent mentioned free parking as a successful aspect

7 people mentioned a sense of safety as among the most successful aspects of the park

Additional comments: there is open selling & usage of drugs in the park

6 people mentioned existing park lighting as among the most successful aspects of the park

5 people mentioned the buskers as among the most successful aspects of the park

5 people mentioned ambiance & peacefulness as among the most successful aspects of the park

4 people mentioned the seating opportunities as among the most successful aspects of the park

*******5 people said there were no successful aspects of the park*******

Summary of 391 written responses to the question 'What do you feel are the least successful aspects of the park?'

SENSE OF PLACE/LANDSCAPE

26 people commented that park utilization was among the least successful aspects of the park

Additional comments: no reason to come, needs programming, lacking spirit, return of small Saturday evening music events would be great

22 people commented that a strong 'sense of place' is among the unsuccessful aspects of the park

Additional comments: park is tired, exhausted, worn out, dirty, unappealing

17 people commented that a weak ocean connection is among the unsuccessful aspects of the park

Additional: the market & berms obscure views to the ocean & boardwalk; no ocean access; not enough seating on boardwalk

11 people commented that a lack of attractive gardens, trees and annuals is among the unsuccessful aspects of the park

9 people commented that the uninspired design/layout is among the least successful aspects of the park

8 people commented that the lack of landmarks and cultural references, aside from the cenotaph, is among the least successful aspects of the park

Additional comments: new facilities could reflect First Nations, west coast or early settler architecture and landscape (as opposed to colonial); programming should include cultural activities

6 people commented that unattractive neighbouring properties is among the unsuccessful aspects of the park

3 people commented that the lack of native/adaptive planting is among the unsuccessful aspects of the park

3 people commented that the park's entrance(s) are among the least successful aspects of the park

2 people commented that there is too much open grass area in the park; 1 person commented that there is not enough

2 people commented that there is too much large vegetation (trees & shrubs) in the park as it makes the space seem smaller and enclosed (prefer when it had less shrubs and high canopy limbed trees)

2 people commented that there is too much hardscape on the Fulford Ganges frontage

PARK USER SAFETY

172 people commented that disrespectful park users are among the unsuccessful aspects of the park

Additional comments: gangs or intimidating groups/individuals; issues include drug & alcohol use; dealing; abusive language & threats; public urination; abrasiveness; general unpleasantness; excessive littering. Dealing occurs throughout park but especially near playground/ washroom and at gazebo.

46 people commented that they felt unwelcome &/or unsafe in the park outside of the Saturday market

11 people commented that they feel particularly unsafe at dusk, dawn and in the evening when there is not

enough lighting in the park

6 people commented that the berms obstruct views and contribute to their feeling of unease in the park

4 people commented that the lack of regular policing was among the least successful aspects of the park

CIRCULATION/TRANSPORTATION/PARKING

24 people commented that poor pedestrian circulation within the park & lack of path connectivity to areas beyond the park is among the unsuccessful aspects of the park

Additional comments: too few crosswalks to access park, lack of clear entry to park, market creates traffic problems & puts pedestrian safety at risk

14 people commented that lack of available parking, especially on market days, is among the least successful aspects of the park

9 people commented that traffic issues on Gasoline Alley & Fulford Ganges are among the unsuccessful aspects of the park

8 people commented that integrating the parking with park activities was among the least successful aspects of the park

4 people commented that the extent of parking flanking the park is among the unsuccessful aspects of the park

Additional comments: park could be expanded to have more green space or flanking parking areas could be redesigned into attractive picnic or café style eating areas

5 people commented that the slippery boardwalk, uneven walking surfaces and high curbs made accessibility difficult and were among the least successful aspects of the park

STRUCTURES/SITE FURNITURE (gazebo, playground, washrooms, benches, etc.)

70 people commented that the washrooms are among the least successful aspects of the park

Additional comments: too small, outdated, unattractive, unsafe, unpleasant, not open enough, safety concerns

43 people commented that the playground is among the least successful aspects of the park

Additional comments: outdated, rusty, stone safety surface, uninteresting, too small, not suitable for all ages, should be a 'natural' playscape; rocking horse should stay; rocking horse is unsafe & should be removed; removal of climbing trees disappointing

31 people commented that lack of seating is among the unsuccessful aspects of the park

Additional comments: older people need proper seating, especially along the boardwalk; more benches needed along boardwalk; berm seating at gazebo too limited (raised stage & flat surface where you can bring a chair or blanket would expand seating opportunity); bleachers might be useful (as in past)

17 people commented that limited garbage/recycling containers & collection are among the unsuccessful aspects of the park

14 people commented that lack of a drinking fountain is among the unsuccessful aspects of the park

11 people commented that the gazebo/band shell is among the least successful aspects of the park

Additional comments: dated design; wrong location; limited seating around it (prefer raised stage & flat lawn); is hangout & place for drug deals; largely unused; empty shell; not well serviced (power, lights, sound, etc)

9 people commented that the lack of picnic tables is among the unsuccessful aspects of the park

2 people commented that the cenotaph area is an unsuccessful aspect of the park because it takes too much park space out of circulation for other activities

MARKETS

35 people commented that the markets are among the least successful aspects of the park from a 'market function' perspective

Additional comments: too congested; needs greater vendor variety; needs new life; is too small – should relocate; needs improved organization; needs more circulation around vendors; inconsistent power supply

23 people commented that the markets are among the least successful aspects of the park from a 'park function' perspective

Additional: current markets have too big a footprint in small park; markets obscure views to park and ocean; focus on consumerism; noisy; detracts from other park activities; creates heavy wear & tear on park (other park users have to contend with this)

DOGS

25 people commented that allowing dogs in the park is among the unsuccessful aspects of the park

Additional comments: no monitoring of dogs or penalties for rule breakers; perhaps dog area could be open more often to keep dogs out of park; dog area should be removed and area turned over for better park use

22 people commented that dogs not allowing dogs in the park, at the very least, dogs that are on leash, is among the unsuccessful aspects of the park

Additional comments: some seniors exercise by walking their dogs & no longer have access to park; visitors arriving with dogs don't use park; responsible dog owners shouldn't be punished

CLIMATE

13 people commented that drainage is among the least successful aspects of the park

Additional comments: poor drainage limits winter & shoulder season use; adds to maintenance problems

5 people commented that lack of shade is among the unsuccessful aspects of the park

Additional comments: need shade structures&/or need shade trees; children and seniors especially vulnerable to heat & too much sun

4 people commented that the slippery boardwalk and lack of protected seating limited comfortable winter ((rainy weather) use and were among the least successful aspects of the park

2 people commented that lack of shelter from the wind is among the unsuccessful aspects of the park

18 people commented that smokers & the butts they leave behind are an issue

9 people commented that loud noise (traffic, buskers, music) is a park issue

Additional comments: the park should provide an opportunity for a tranquil experience

7 people commented they feel the park is too small to accommodate all the things people want to use it for (market; music festivals; large community gatherings)

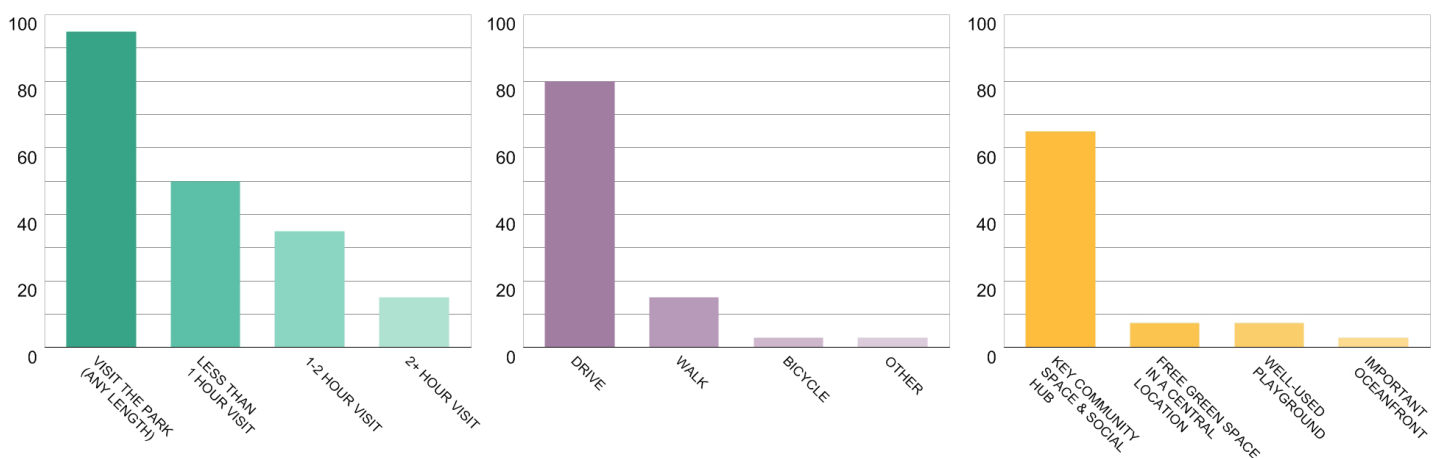
1 person commented that the location was a problem

1 person commented that removing the homeless is a problem as they have nowhere else to go

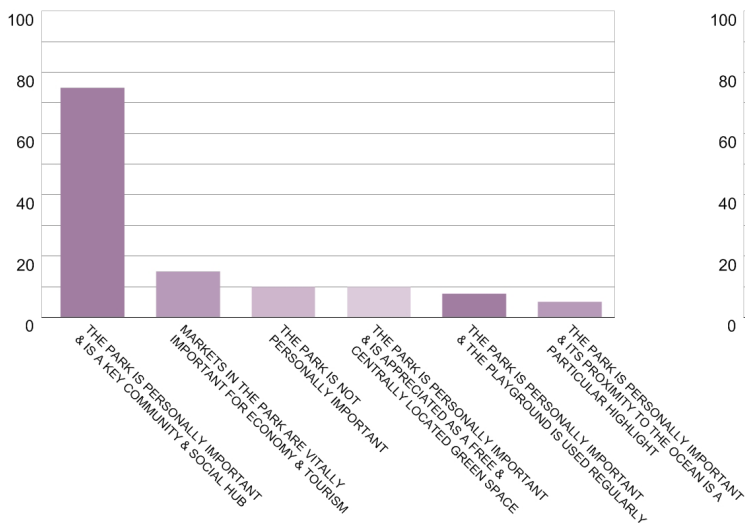
1 person commented they felt the Settler Ship display is unattractive & inappropriately located

**** 6 people commented they feel there are no unsuccessful aspects of the park*****

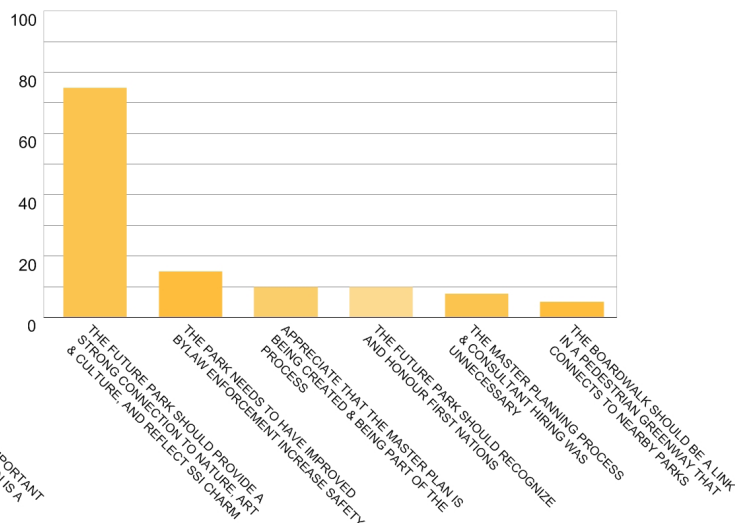
HOW IS THE PARK ACCESSED?



IS THE PARK IMPORTANT TO YOU PERSONALLY?



DO YOU HAVE ADDITIONAL COMMENTS?



Summary of 397 written responses to the question 'Is Centennial Park important to you personally?'

Notes:

- 1) many of the responders said 'yes' and then said what changes in the park should take place to make it important (ergo not sure if it is currently important)
- 2) many of the responders indicated the park is important as a venue for the market, which is important for their personal economy &/or the SSI economy, but that they otherwise have no interest in the park
- 3) many of the responders said the park is important because it holds many memories even though they never go there now
- 4) several responders said the park is important because towns should have centrally located gathering spaces, even though they personally never go to Centennial Park

Of 397 responses 41 clearly indicated the park is not important to them personally

301 respondents said the park is personally important to them and indicated it is an important community space & the outdoor social hub of Ganges. Some of the responders indicated they use the park frequently & some simply defined its value.

60 respondents indicated the markets in the park are vitally important for economic reasons and as a tourist attraction

39 respondents indicated the park is personally important and that they particularly appreciate it as a centrally located and free green space

31 respondents indicated the park is personally important and that they access the playground fairly regularly

14 respondents indicated the park is personally important that the proximity to the ocean is a particular highlight

222 people responded to the question 'Do you have any additional comments about Centennial Park or the Master Plan Update Process to share?'

The majority of comments reflected responses to questions in other areas of the survey. There were new comments recommending looking at an expanded area for Centennial Park with the buildings along Gasoline Alley potentially becoming a Granville Island type of market, and with consideration to re-routing traffic and improving pedestrian circulation. Concern about lack of an adequate cycling environment was also mentioned. Responses reflected several competing interests: a) markets should stay as they are, be expanded, be relocated, be reconfigured, b) park improvements should be nil or limited versus park improvements should be extensive and visionary, b) policing should be increased versus the park should be a place for 'all' including the homeless and people with mental health issues; c) dogs should be allowed versus not allowed; d) the masterplan process is a good thing versus a waste of taxpayer dollars.

25 respondents commented that they appreciated being part of the master plan process or simply appreciated that the master plan is being created

17 people commented that the master plan process and consultant hiring was unnecessary. Of these, 7 felt the park is fine the way it is and needs no upgrading. Most of the 17 were concerned about taxpayer cost for the process, citing other projects (planning/ maintenance/construction) that they felt were more important. 2 people commented that design competitions should be held for detail design of master plan components (structures, play area, drinking fountain, etc)

2 people commented that any improvements should happen on a no cost to tax payers basis

28 people commented the future park should provide a strong connection to nature, art & culture, and reflect SSI charm (nothing too urban or sophisticated)

10 people commented that the future park should be vibrant

10 people commented that the future park should be community focused

9 people commented the park should always be welcoming

5 people commented that it should provide strong ocean connections. One person commented there should be a kayak/canoe launch.

4 people commented that the future park should be visionary (needs to be great in 20 years)

2 people commented that the future park should be creative and reflect cutting edge design

2 people commented that the design of all future structures should be 'west coast', 'traditional' or First Nations inspired (not contemporary)

3 people commented that the park should be expanded, that the masterplan exercise should take into account activity on neighbouring properties & transportation issues

14 people commented that the boardwalk should be a link in a pedestrian greenway system that extends throughout Ganges and to nearby parks, and that all pedestrian surfaces should be well maintained, safe and fully accessible.

3 people commented on the need for an attractive and highly visible sense of entry

1 person commented that in order to isolate and protect the park the boardwalk should not connect to an extended pathway system (reduce traffic)

1 person commented that all signs should be removed and the space kept as low key/relaxed as possible

18 people commented that the future park should recognize and honour First Nations

1 person commented the park should be renamed to honour First Nations land title & historic use of site

1 person commented that the park should be cenotaph focused

12 people commented that adjacent traffic and parking needs to be reevaluated and improved. Some suggested removal of vehicular traffic, &/or introduction of one way flows &/or temporarily closed streets. Good safe options for pedestrians & cyclists should be considered in the revamped transportation network. A shuttle service to a market at a different venue should be considered. Cycling based tourism should be considered.

2 people commented that all parking within park boundaries should be removed & hardscape limited as far as possible

1 person commented that the park should have cycling support (covered bike parking, fix-it station, water bottle fill, etc)

10 people commented that the landscaping should be improved. This means different things to different people – some mentioned better lawns, some more flowers, some better maintenance.

5 people commented the park needs improved maintenance and more garbage/recycling bins. One person suggested having a composting program to support the market.

4 people commented that the park should be tree/grass oriented with open sight lines and sense of expansiveness, plus good for safety

3 people commented on the need for improved drainage

1 person commented that the Garry oaks should be replaced with palm trees

11 people commented that the playground needs to be updated. There is a strong desire for a new 'natural' playground design. Playground references cited included Duncan, Parksville & Richmond.

7 people commented that a small water park would be a great addition & major draw

2 people commented the rocking horse should be refurbished & kept

1 person commented the park should include climbing trees for children

28 people commented the park needs improved enforcement of bylaws to increase safety

8 people commented that surveillance & police 'harassment' were NOT wanted.

13 people commented that the market should be expanded

11 people commented that the market should be moved to a new venue

6 people commented that the market layout should be reconfigured

3 people commented the market should remain as it currently is

2 people commented that the size of the market should be reduced

5 people commented that the no dog policy should be continued

3 people commented that dogs on leashes should be allowed

1 person commented the whole park should be dog friendly

7 people commented that there needs to be more seating in the park, especially oriented to provide ocean views. Consideration should be given to those who cannot or do not wish to sit on grass.

2 people commented that the seating around the gazebo should be retained & improved for the comfort of the elderly /less mobile

12 people commented that the future park should have excellent day & evening programming

7 people commented that the gazebo needs to be used more –allow anyone access &/or increase programming.

One person indicated the gazebo needs to be sheltered from the wind.

2 people commented the future park should be a flexible space

8 people commented that improving the washrooms was critical to the park's enjoyment & success; a vendor commented he felt the vendors were overcharged for washroom maintenance

1 person commented that the washrooms should be removed

4 people commented that climate adaptation should be a master plan consideration. The park will be affected by many things including sea level rise, extreme weather (heat, drought, floods, cold snaps), increased storms

1 person commented that the park should include a climate sheltered gathering place for all

1 person commented the future park should contribute to food security

1 person commented that shade/climate protection is needed

8 people commented that the future park should include educational opportunities

5 people commented that the future park should include lighting for safety and ambiance

3 people commented that a drinking fountain is needed

2 people commented the park should include adult oriented outdoor fitness apparatus

1 person commented that a community bulletin board or kiosk should be included in the park.

1 person commented that event shelters should be temporary & able to be put up & taken down quickly when needed (referenced European parks)

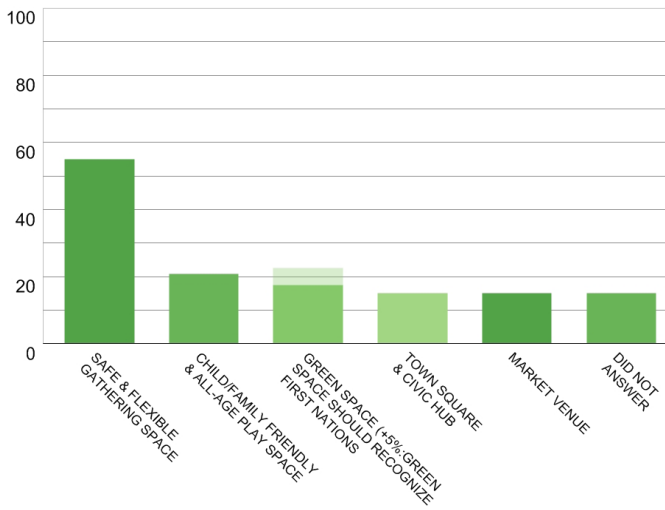
1 person commented that the existing '4 zone' layout should be retained.

1 person commented that the future park should include some hills

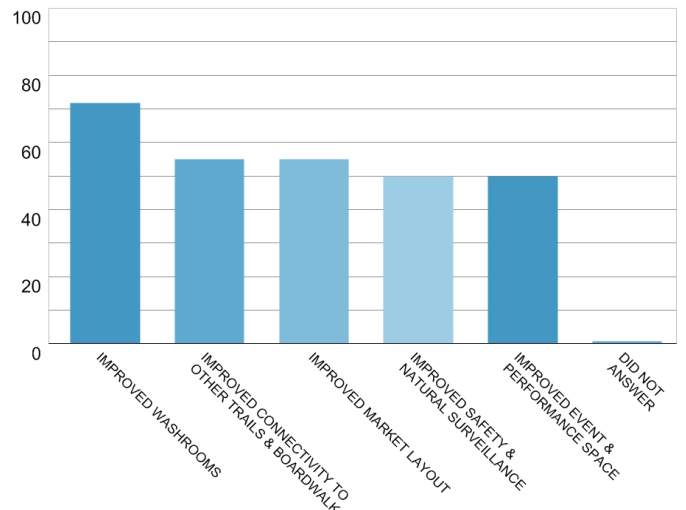
1 person commented that the future park should include seating areas and daily food trucks

1 person suggested al café in the park would be forward thinking

WHAT IS THE PARK'S MOST IMPORTANT ROLE?



HOW SHOULD THE PARK BE REDEVELOPED? (5-20 YRS)



Summary of 389 written responses to the question ‘What is the most important role that Centennial Park should play?’

258 people commented that the primary role for the park should be as a flexible, safe, and clean gathering space for residents and visitors – ‘a generator and sustainer of community’. All should feel welcome and respected.

85 people commented that the park’s primary role should be to provide a child/family friendly place, a playground for all ages. Many commented this role was part of being a community gathering space.

72 people commented that the primary role of the park was as a green space and an opportunity for residents and visitors to engage with nature. Many commented this role was part of being a community gathering and child/family friendly space.

An additional 22 people commented that the green space should include cultural/ historic recognition, especially as related to First Nations.

71 people commented that the primary role should be as a Town Square and civic hub. For some this seemed to be similar to or in conjunction with a gathering space, however, for others it had a more formal connotation with a focus on the cenotaph. Others commented that it should NOT be a Town Square as that created images of a community centre or ‘non-park’ space and that it should be a green space & ‘traditional’ park.

69 people commented that the primary role for the park was as a market venue, a ‘business incubator’, in association with other activities or on its own. Some commented that the market was economically important and that all park development should focus on enhancing the market experience, however, others commented the market should move to the Farmer’s Institute as it caused people and traffic congestion, focused on consumerism, and interfered with the park experience.

38 people commented that the park’s primary role is as a venue for entertainment, art and community events. This was often in conjunction with its role as a community gathering space.

37 people commented that the park’s primary role is to create a strong ‘sense of place’ and be inviting. This was typically in conjunction with the park being a gathering space.

25 people commented that the primary role for the park should be to provide an opportunity for recreational and other outdoor activities. This was typically in conjunction with the park being a gathering space.

16 people commented that the park should provide strong connections to the ocean. This was typically in conjunction with the park being a gathering space.

12 people commented that the park’s primary role is to support tourism. This was typically in conjunction with the park being a venue for the market.

3 people commented that the park’s primary role is to provide clean washrooms in the downtown Ganges area.

9.4 Appendix D: Design Charette Concept Plans



Table #1 Concept #1



Table #1 Concept #2

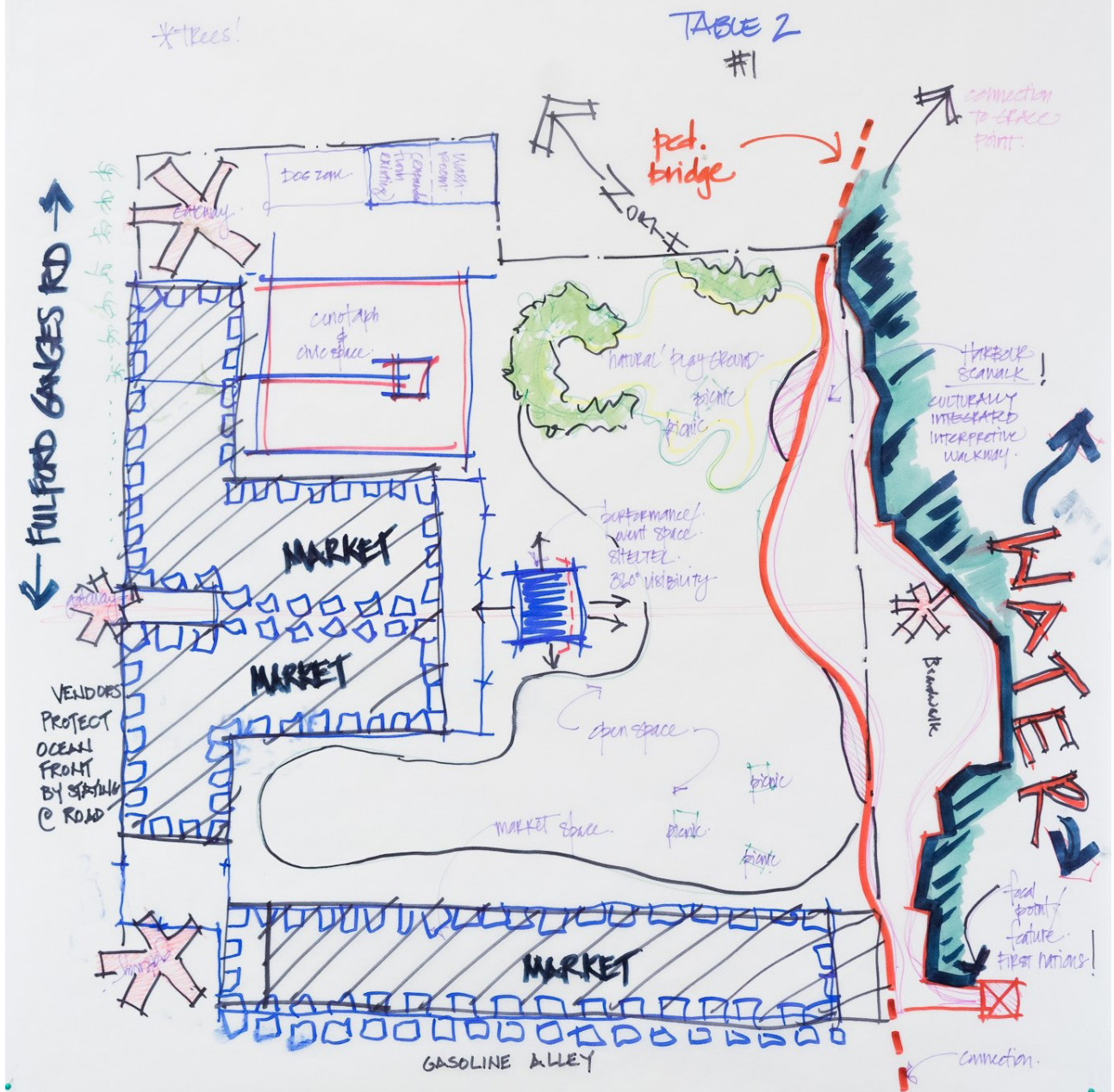


Table #2 Concept #1

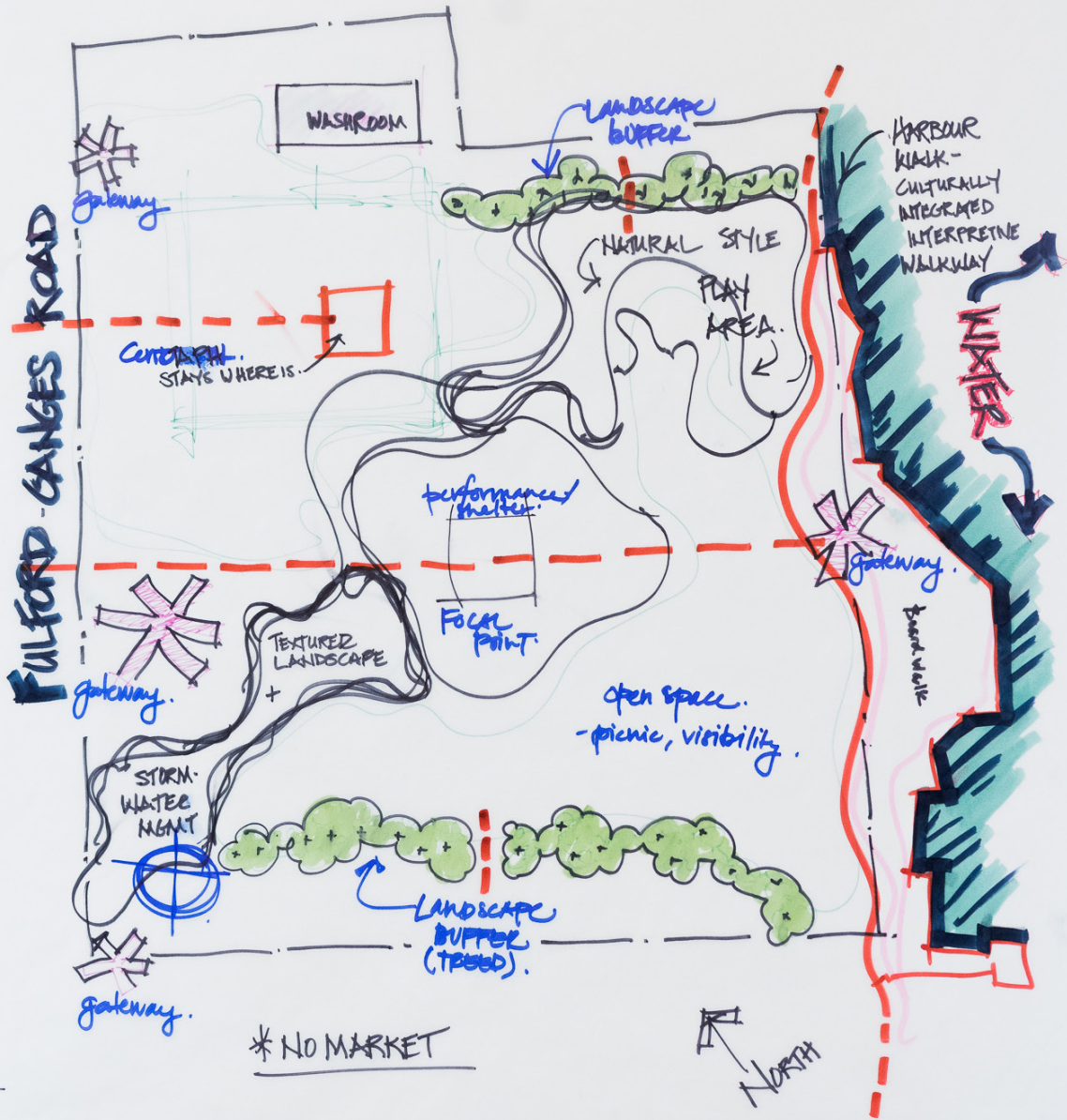


TABLE 2 OPT. 2.

Table #2 Concept #2

TABLE 3
#1

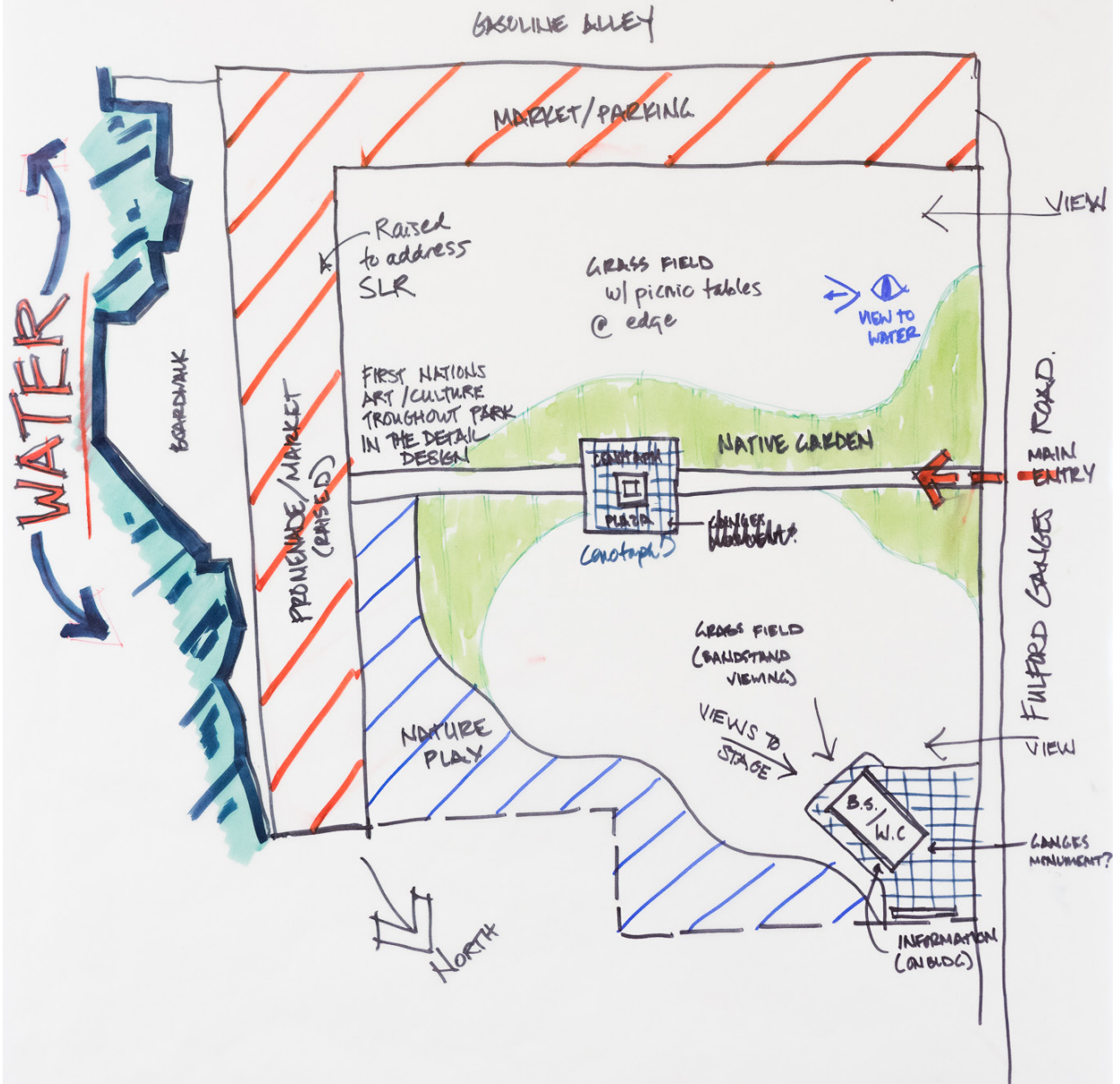


Table #3 Concept #1

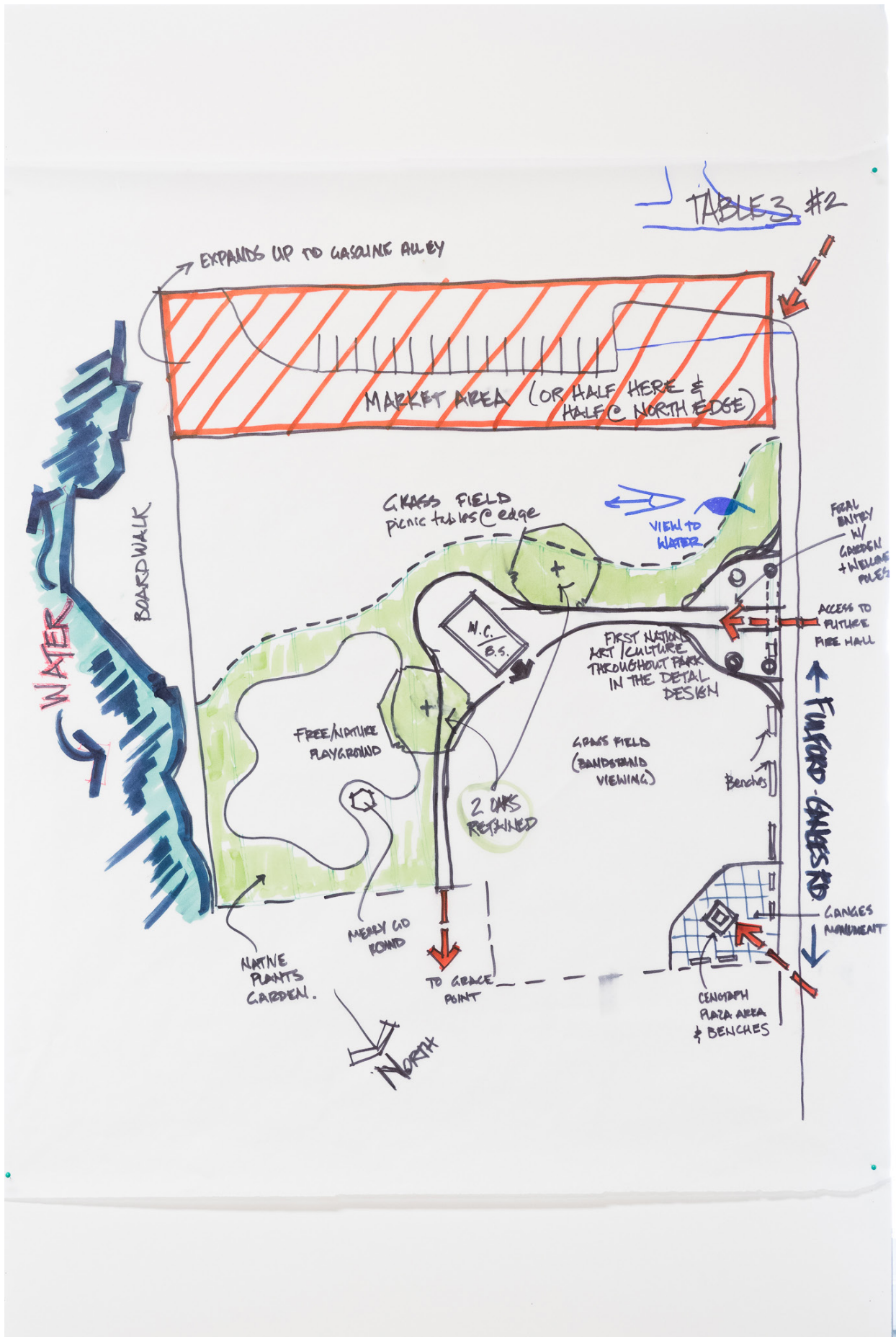


Table #3 Concept #2