

CONTACT INFORMATION

REGISTERED OWNER
Capital Region Housing Corporation (CRHC)
631 Fisgard Street
Victoria B.C.
V8W 2S6

Paul Kitson
tel: 250.416.1493
fax: 250.361.4970
pkitson@crd.bc.ca

ARCHITECT
de Hoog & Kierulf architects
977 Fort Street
Victoria, BC
V8V 3K3

Charles Kierulf
tel: 250.658-3367
fax: 250.658-3397
crk@dhk.ca

LANDSCAPE ARCHITECT
LADR Landscape Architects
2B-485 Dupplin Road
Victoria, BC
V8Z 1B8

Bev Windjack
tel: 250.595-0105
email: bwindjack@ladrla.ca

CIVIL ENGINEER
Gwaii Engineering
485C Garbally Road
Victoria, BC
V8T 2J9

Corey Brown
tel: 250.886-0049
email: cbrown@gwaiieng.com

PROJECT INFORMATION

CIVIC ADDRESS:
310-338 MICHIGAN STREET, VICTORIA, BC

LEGAL DESCRIPTION:
Lot A of Lots 1864, 1871 - 1876, Victoria City
Plan 42136 (P.I.D. 001-225-197)

SITE AREA: 5,074.1 SM

PROJECT DESCRIPTION:
THE CURRENT DEVELOPMENT CONSISTS OF FOUR MULTI-FAMILY RESIDENTIAL BUILDINGS ABOVE A SINGLE STOREY PARKADE. THE PROPOSED DEVELOPMENT WILL RETAIN ONE OF THE EXISTING BUILDINGS, DEMOLISH THREE OF THE BUILDINGS, AND CONSTRUCT TWO NEW FOUR STOREY MULTI-FAMILY RESIDENTIAL BUILDING ABOVE THE EXISTING PARKADE. THE PORTION OF THE EXISTING PARKADE BELOW THE NEW BUILDING WILL BE PARTIALLY DEMOLISHED AND RECONSTRUCTED IN ORDER TO SUPPORT THE NEW DEVELOPMENT. ALL UNITS WITHIN BOTH THE PROPOSED AND EXISTING TO REMAIN WILL BE AFFORDABLE DWELLING UNITS TO BE SECURED IN PERPETUITY THROUGH LEGAL AGREEMENT.

BUILDING HEIGHT
4 STOREYS
12.88 M
(14.76 M AS MEASURED FROM AVERAGE GRADE.)

BUILDING AREA
EXISTING TO REMAIN - 342.3 SM
PROPOSED WEST BUILDING - 1001.0 SM
PROPOSED EAST BUILDING - 797.2 SM
PARKADE - 3165 SM

RESIDENTIAL UNIT SUMMARY

	EXISTING TO REMAIN	PROPOSED	TOTAL
STUDIO	0	3 (35-44 SM)	3
STUDIO ACCESSIBLE	0	4 (43 SM)	4
1 BEDROOM	5	30 (46-50 SM)	35
1 BED ACCESSIBLE	0	3 (55-58 SM)	3
2 BEDROOM	3	47 (68-78 SM)	50
3 BEDROOM	1	10 (88-91 SM)	11
TOTAL	9	97	106

VICTORIA ZONING BYLAW SUMMARY

ZONING:
EXISTING: R3-2 MULTIPLE DWELLING DISTRICT
PROPOSED: R3-2 MULTIPLE DWELLING DISTRICT WITH VARIANCES

USES:
RESIDENTIAL
STORAGE (PARKADE).

DEVELOPMENT PERMIT AREA: DPA 16

SITE AREA: 5,074.1 SM

FLOOR SPACE RATIO:
EXISTING TO REMAIN 0.16 : 1 FSR (798 SM / 5074.1 SM)
PROPOSED: 1.40 : 1 FSR (7122 SM / 5074.1 SM)
TOTAL: 1.56 : 1 FSR (7920 SM / 5074.1 SM)

SITE COVERAGE :
EXISTING TO REMAIN: 6.8% (342.3 / 5074.1 SM)
PROPOSED: 36.7% (1035+829 / 5074.1 SM)
SITE COVERAGE TOTAL : 43.5%

OPEN SITE SPACE: 55.5%

AVERAGE GRADE: 5.52 M (GEODETTIC)
See Site Plan for Grade Calculation

HEIGHT OF BUILDING: 14.76 M (FROM AVERAGE GRADE)

NUMBER OF STOREYS: 4 STOREYS

PARKING:
REQUIRED: 57 resident + 11 visitor = 68
PROPOSED: 70

BICYCLE PARKING:
REQUIRED: 131 long-term + 11 short-term
PROVIDED: 131 long-term + 11 short-term

SETBACKS :
FRONT (Michigan Street): 5.50 m
REAR (North): 5.78 m
SIDE (East): 6.0 m
SIDE (West): 6.0 m

BUILDING CODE SUMMARY

REFERENCE DOCUMENT:
BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
GROUP C - RESIDENTIAL (FLOORS 1 - 4)
GROUP F, DIVISION 2 - LOW HAZARD INDUSTRIAL (PARKADE)

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)
PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE OCCUPANCIES ABOVE AND ADJACENT BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY 3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS & 18 M
ALLOWABLE AREA - 2250 SM (BASED ON FOUR STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - 1 HOUR

ACTUAL SIZE AND CONSTRUCTION
PARKADE -
FIRE SUPPRESSION - FULL SPRINKLERED
HEIGHT - 1 STOREY
AREA - 3165 SM
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLY - 2 HOUR
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

PROPOSED BUILDING -
FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 4 STOREYS, 12.02 M
AREA - 1844 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - 1 HOUR

DRAWING INDEX

ARCHITECTURAL

- A001 PROJECT INFORMATION
- A002 SURVEY PLAN
- A100 DEMOLITION PLAN
- A101 PARKADE PLAN
- A102 SUSPENDED SLAB PLAN
- A103 PRELIMINARY EXCAVATION PLAN
- A201 ARCHITECTURAL SITE PLAN
- A202 L1 PLAN
- A203 L2 - L3 PLANS
- A204 L4 PLAN
- A205 ROOF PLAN
- A250 ENLARGED PARKADE PLAN - WEST
- A251 ENLARGED PARKADE PLAN - EAST
- A252 ENLARGED L1 PLAN - WEST BUILDING
- A253 ENLARGED L2-3 PLANS - WEST BUILDING
- A254 ENLARGED L4 PLAN - WEST BUILDING
- A255 ENLARGED L1 PLAN - EAST BUILDING
- A256 ENLARGED L2-L4 PLANS - EAST BUILDING
- A301 SECTIONS - WEST BUILDING
- A302 SECTIONS - EAST BUILDING
- A303 SITE SECTION
- A401 ELEVATIONS - WEST BUILDING
- A402 ELEVATIONS - WEST BUILDING
- A403 ELEVATIONS - EAST BUILDING
- A404 ELEVATIONS - EAST BUILDING
- A405 CONTEXT ELEVATIONS
- A501 PERSPECTIVES
- A503 SHADOW STUDIES
- A506 SHADOW STUDIES

CIVIL
CONCEPTUAL SERVICING PLAN

LANDSCAPE
L1 LANDSCAPE CONCEPT PLAN
L2 TREE PRESERVATION PLAN



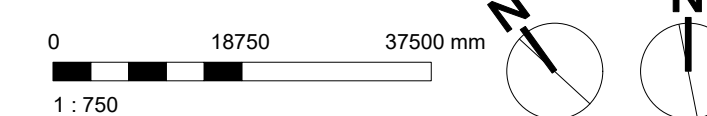
Rev	Date	Description
01	JUN 2020	ISSUED FOR DEVELOPMENT VARIANCE
02	MAF, FWP	checked by
03	AS SHOWN	project number 1815

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DEVELOPMENT VARIANCE

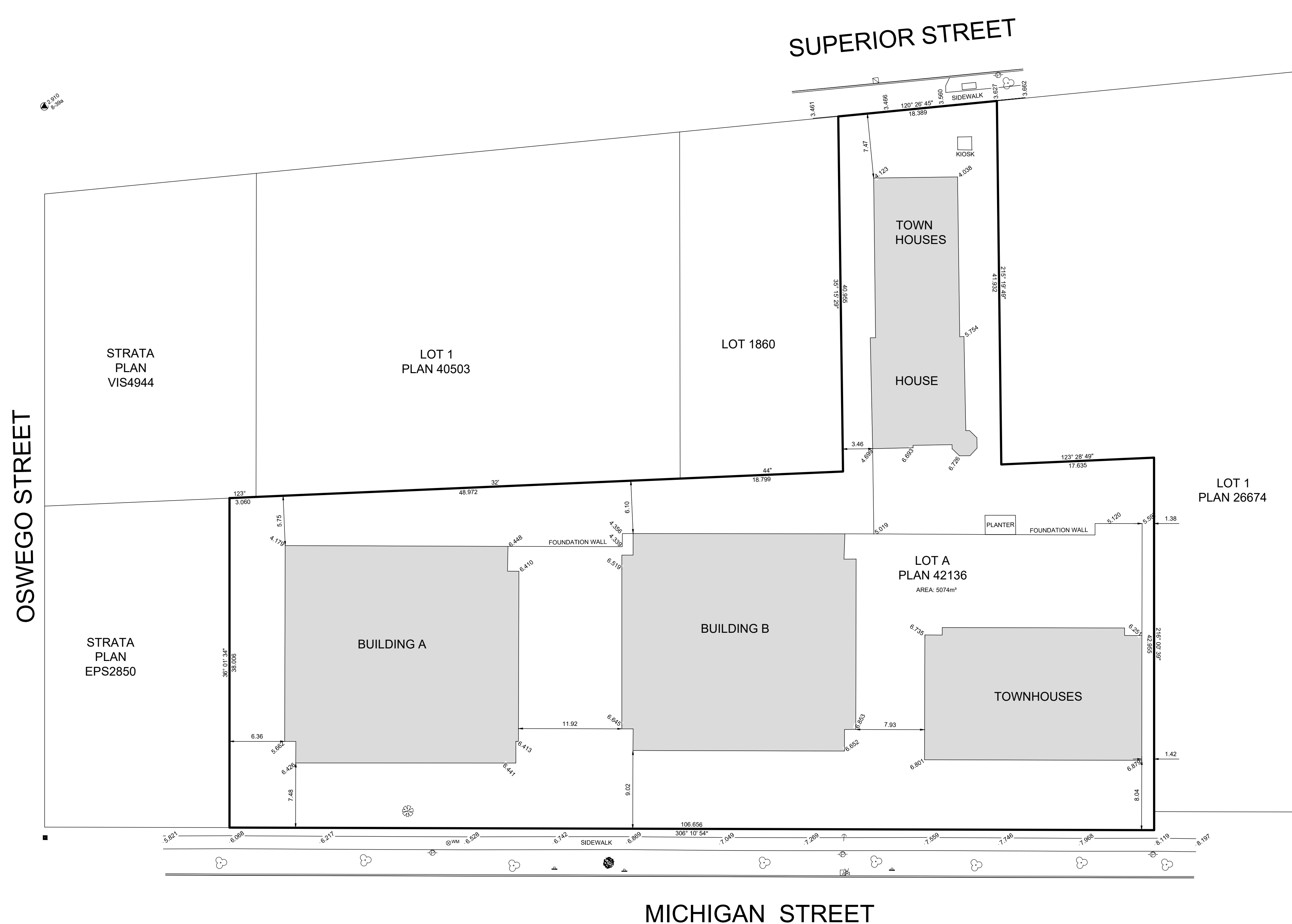
de Hoog & Kierulf architects	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-858-5810
Project Name Michigan St 310-338 Michigan St. & 333 Superior St. Victoria BC	
Project Data	Sheet No. A001

1 Location Plan
A001 Scale: 1:750



McElhanney ANS D - 15/05/20

DATE: 2016-06-06 10:48 FILE: P:\310-338 Michigan Street\10-DRAWINGS\10-1-CAD\3D Files\3D\3D.dwg



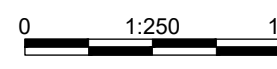
- GUY WIRE
- ☐ CATCH BASIN (TOP INLET)
- ☐ JUNCTION BOX
- ⊕ POLE - HYDRO
- ⊕ SIGN POST
- ⊕ VALVE - WATER
- ⊕ METER - WATER
- ⊕ TREE - CONIFEROUS
- ⊕ TREE - DECIDUOUS
- ⊕ TREE - ORNAMENTAL
- 6.876 GROUND ELEVATION

NOTES:

- DISTANCES ARE GROUND LEVEL BEARINGS ARE UTM GRID AND ARE DERIVED FROM DUAL FREQUENCY GPS DIFFERENTIAL CARRIER PHASE OBSERVATIONS.
- ELEVATIONS ARE IN METRES AND ARE REFERRED TO GEODETIC DATUM CHD88. ELEVATIONS ARE REFERRED TO GGM 8-52 AT ELEVATION 6.032M
- THIS PLAN REPRESENTS FIELD SURVEY CONDUCTED ON AUGUST 17 AND 18, 2016.

Rev	Date	Description
0	18-09-04	ORIGINAL ISSUE

MICHIGAN STREET



THIS DRAWING AND DESIGN IS THE PROPERTY OF MCELHANEY CONSULTING SERVICES LTD. (MCELHANEY) AND SHALL NOT BE USED, REPRODUCED OR REPRODUCED WITHOUT THE CONSENT OF MCELHANEY. MCELHANEY WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN. THE DRAWING AND DESIGN HAS BEEN PREPARED FOR THE CLIENT IDENTIFIED TO MEET THE STANDARDS AND REQUIREMENTS OF THE APPLICABLE PUBLIC AGENCIES AT THE TIME OF PREPARATION. MCELHANEY, ITS EMPLOYEES, SUBCONTRACTORS AND AGENTS WILL NOT BE LIABLE FOR ANY LOSSES OR OTHER CONSEQUENCES RESULTING FROM THE USE OR RELIANCE UPON, OR ANY CHANGES MADE TO, THIS DRAWING, BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS AND STANDALONES, OR THEIR EMPLOYEES OR AGENTS, WITHOUT MCELHANEY'S PRIOR WRITTEN CONSENT. INFORMATION ON EXISTING UNDERGROUND FACILITIES MAY NOT BE COMPLETE OR ACCURATE. MCELHANEY, ITS EMPLOYEES AND DIRECTORS ARE NOT RESPONSIBLE NOR LIABLE FOR THE LOCATION OF ANY UNDERGROUND CONCRETE, PIPES, CABLES OR OTHER FACILITIES WHEN THEIR DRAWING OR OFFSETS FROM THIS PLAN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING FACILITIES BY HAND DIGGING OR HYDROVAC AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

ORIGINAL DWG SIZE: ANSI D (22" x 34")
ALL DIMENSIONS ARE IN METRES



Suite 500
3960 Quadra Street
Victoria BC
Canada V8X 4A3
Tel 250 370 9221

CAPITAL REGIONAL HOUSING CORP
631 FISGARD STREET, PO BOX 1000, VICTORIA BC
330-336 MICHIGAN STREET
SITE PLAN
330-336 MICHIGAN STREET AND 333 SUPERIOR STREET
VICTORIA BC

Drawing No.
03687-V-1
Project Number
2113-03687-00
Rev.
0

de Hoog & Kierulff architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-858-3387

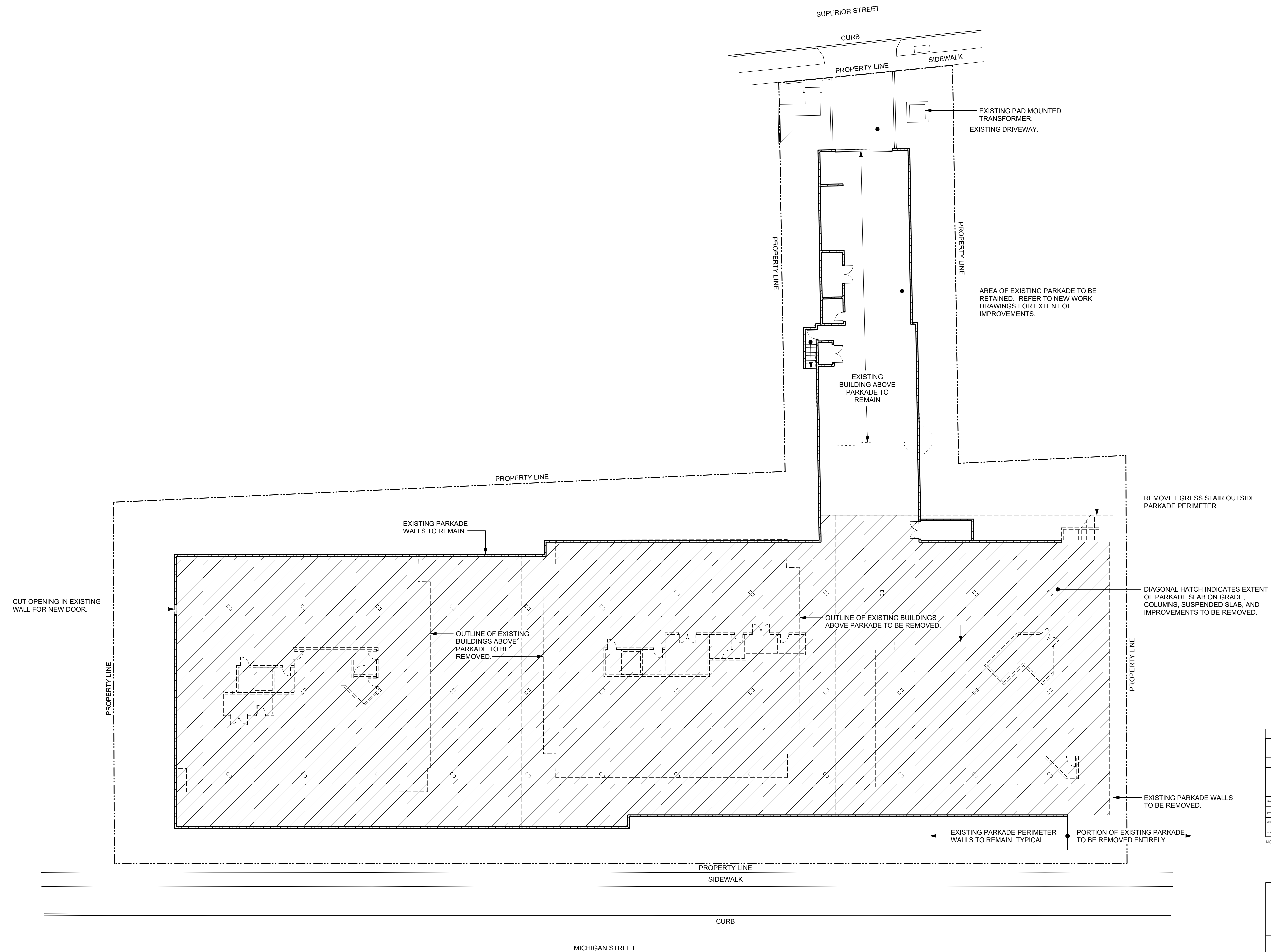
NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

Survey

Copyright Reserved. These Plans and Designs are and at all times remain the property of de Hoog & Kierulff Architects and shall not be reproduced, copied, or otherwise used for any purpose without the prior written consent of de Hoog & Kierulff Architects.

Project Name: A002



Rev	Date	Description
1	NOV 2019	1815 A200 Floor Plans
2	NOV 2019	1815 A200 Floor Plans
3	NOV 2019	1815 A200 Floor Plans
4	NOV 2019	1815 A200 Floor Plans
5	NOV 2019	1815 A200 Floor Plans
6	NOV 2019	1815 A200 Floor Plans
7	NOV 2019	1815 A200 Floor Plans
8	NOV 2019	1815 A200 Floor Plans
9	NOV 2019	1815 A200 Floor Plans
10	NOV 2019	1815 A200 Floor Plans

Drawn by: MAF, FWP
 Checked by: RAW
 Date: AS SHOWN
 Project number: 1815

NOTE: All dimensions are shown in millimeters.



dHKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-858-3387

dHKarchitects

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-858-5810

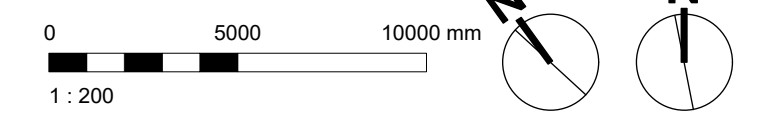
project name
Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

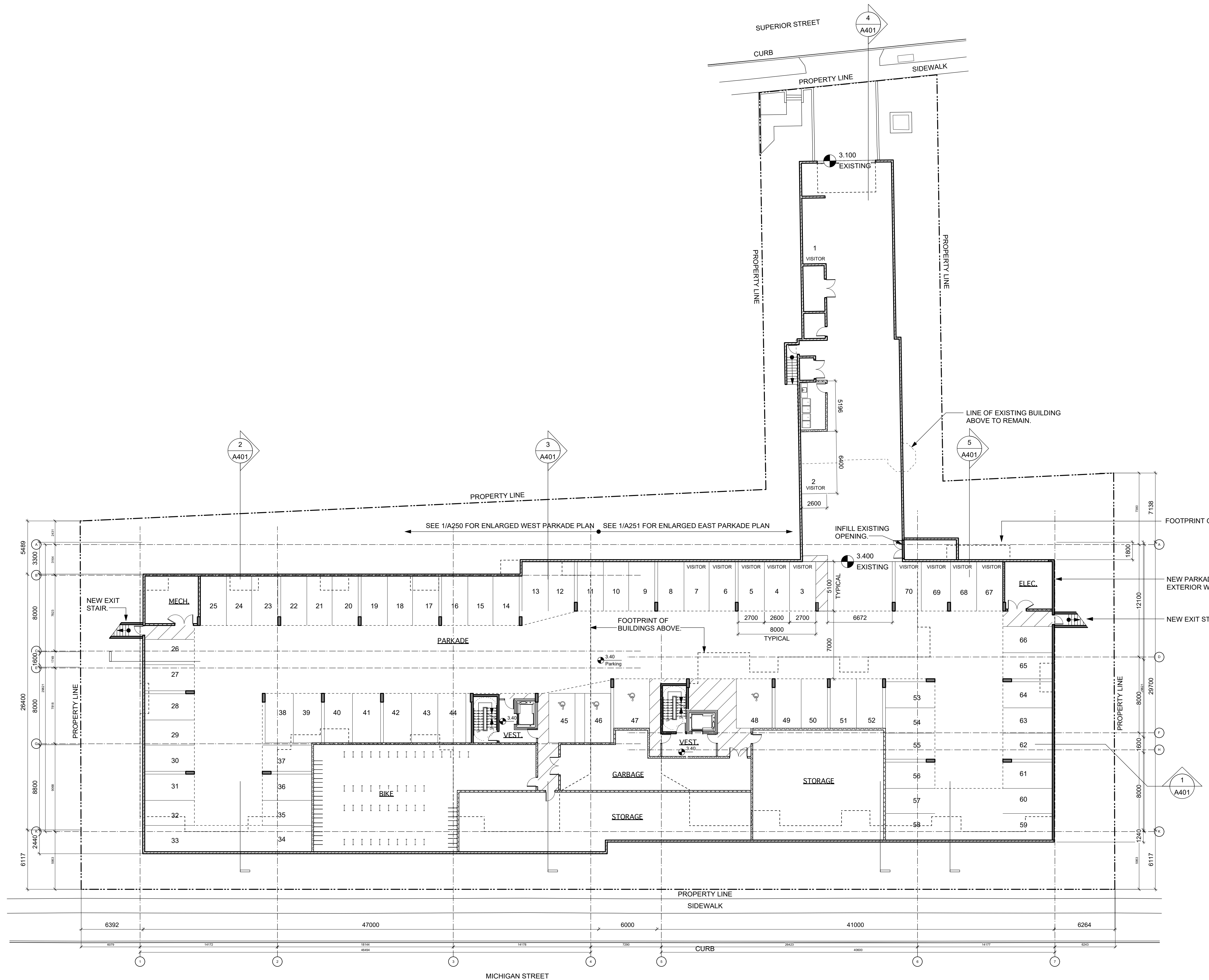
Demolition Plan

Copyright reserved. These Plans and designs are and all that remain the property of dHKA ARCHITECTS. NO REUSE OR REPRODUCTION OF THESE PLANS FOR ANY PROJECT WITHOUT WRITTEN CONSENT. APPROXIMATE - WITHOUT WARRANTY.

sheet no. **A100** of **-**

1 Parkade Demolition Plan
 A100 Scale: 1:200





VEHICLE PARKING CALCULATION

UNITS < 45 SM	7 X 2 = 1
UNITS 45-70 SM	76 X 5 = 38
UNITS > 70 SM	23 X 75 = 17
VISITOR	106 X 1 = 11
TOTAL REQUIRED	67
PROVIDED	70

LONG TERM BIKE PARKING CALCULATION

UNITS < 45 SM	5 X 1 = 5
UNITS > 45 SM	101 X 1.25 = 126
TOTAL REQUIRED	131
PROVIDED	131

Rev	Date	Description
1	NOV 2019	1815 A200 Floor Plans view
2	NOV 2019	1815 A200 Floor Plans view
3	NOV 2019	1815 A200 Floor Plans view
4	NOV 2019	1815 A200 Floor Plans view
5	NOV 2019	1815 A200 Floor Plans view
6	NOV 2019	1815 A200 Floor Plans view
7	NOV 2019	1815 A200 Floor Plans view
8	NOV 2019	1815 A200 Floor Plans view
9	NOV 2019	1815 A200 Floor Plans view
10	NOV 2019	1815 A200 Floor Plans view
11	NOV 2019	1815 A200 Floor Plans view
12	NOV 2019	1815 A200 Floor Plans view
13	NOV 2019	1815 A200 Floor Plans view
14	NOV 2019	1815 A200 Floor Plans view
15	NOV 2019	1815 A200 Floor Plans view
16	NOV 2019	1815 A200 Floor Plans view
17	NOV 2019	1815 A200 Floor Plans view
18	NOV 2019	1815 A200 Floor Plans view
19	NOV 2019	1815 A200 Floor Plans view
20	NOV 2019	1815 A200 Floor Plans view
21	NOV 2019	1815 A200 Floor Plans view
22	NOV 2019	1815 A200 Floor Plans view
23	NOV 2019	1815 A200 Floor Plans view
24	NOV 2019	1815 A200 Floor Plans view
25	NOV 2019	1815 A200 Floor Plans view
26	NOV 2019	1815 A200 Floor Plans view
27	NOV 2019	1815 A200 Floor Plans view
28	NOV 2019	1815 A200 Floor Plans view
29	NOV 2019	1815 A200 Floor Plans view
30	NOV 2019	1815 A200 Floor Plans view
31	NOV 2019	1815 A200 Floor Plans view
32	NOV 2019	1815 A200 Floor Plans view
33	NOV 2019	1815 A200 Floor Plans view
34	NOV 2019	1815 A200 Floor Plans view
35	NOV 2019	1815 A200 Floor Plans view
36	NOV 2019	1815 A200 Floor Plans view
37	NOV 2019	1815 A200 Floor Plans view
38	NOV 2019	1815 A200 Floor Plans view
39	NOV 2019	1815 A200 Floor Plans view
40	NOV 2019	1815 A200 Floor Plans view
41	NOV 2019	1815 A200 Floor Plans view
42	NOV 2019	1815 A200 Floor Plans view
43	NOV 2019	1815 A200 Floor Plans view
44	NOV 2019	1815 A200 Floor Plans view
45	NOV 2019	1815 A200 Floor Plans view
46	NOV 2019	1815 A200 Floor Plans view
47	NOV 2019	1815 A200 Floor Plans view
48	NOV 2019	1815 A200 Floor Plans view
49	NOV 2019	1815 A200 Floor Plans view
50	NOV 2019	1815 A200 Floor Plans view
51	NOV 2019	1815 A200 Floor Plans view
52	NOV 2019	1815 A200 Floor Plans view
53	NOV 2019	1815 A200 Floor Plans view
54	NOV 2019	1815 A200 Floor Plans view
55	NOV 2019	1815 A200 Floor Plans view
56	NOV 2019	1815 A200 Floor Plans view
57	NOV 2019	1815 A200 Floor Plans view
58	NOV 2019	1815 A200 Floor Plans view
59	NOV 2019	1815 A200 Floor Plans view
60	NOV 2019	1815 A200 Floor Plans view
61	NOV 2019	1815 A200 Floor Plans view
62	NOV 2019	1815 A200 Floor Plans view
63	NOV 2019	1815 A200 Floor Plans view
64	NOV 2019	1815 A200 Floor Plans view
65	NOV 2019	1815 A200 Floor Plans view
66	NOV 2019	1815 A200 Floor Plans view
67	NOV 2019	1815 A200 Floor Plans view
68	NOV 2019	1815 A200 Floor Plans view
69	NOV 2019	1815 A200 Floor Plans view
70	NOV 2019	1815 A200 Floor Plans view

dHKarchitects

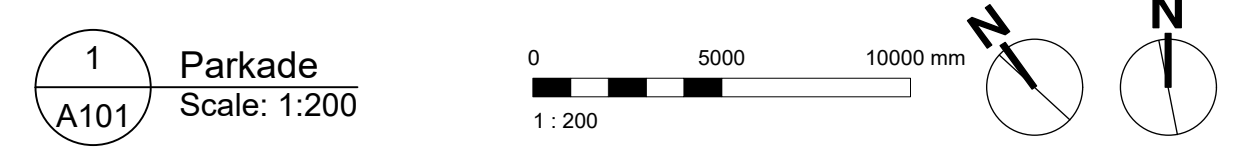
VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-858-3387

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-858-5810

project name
Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

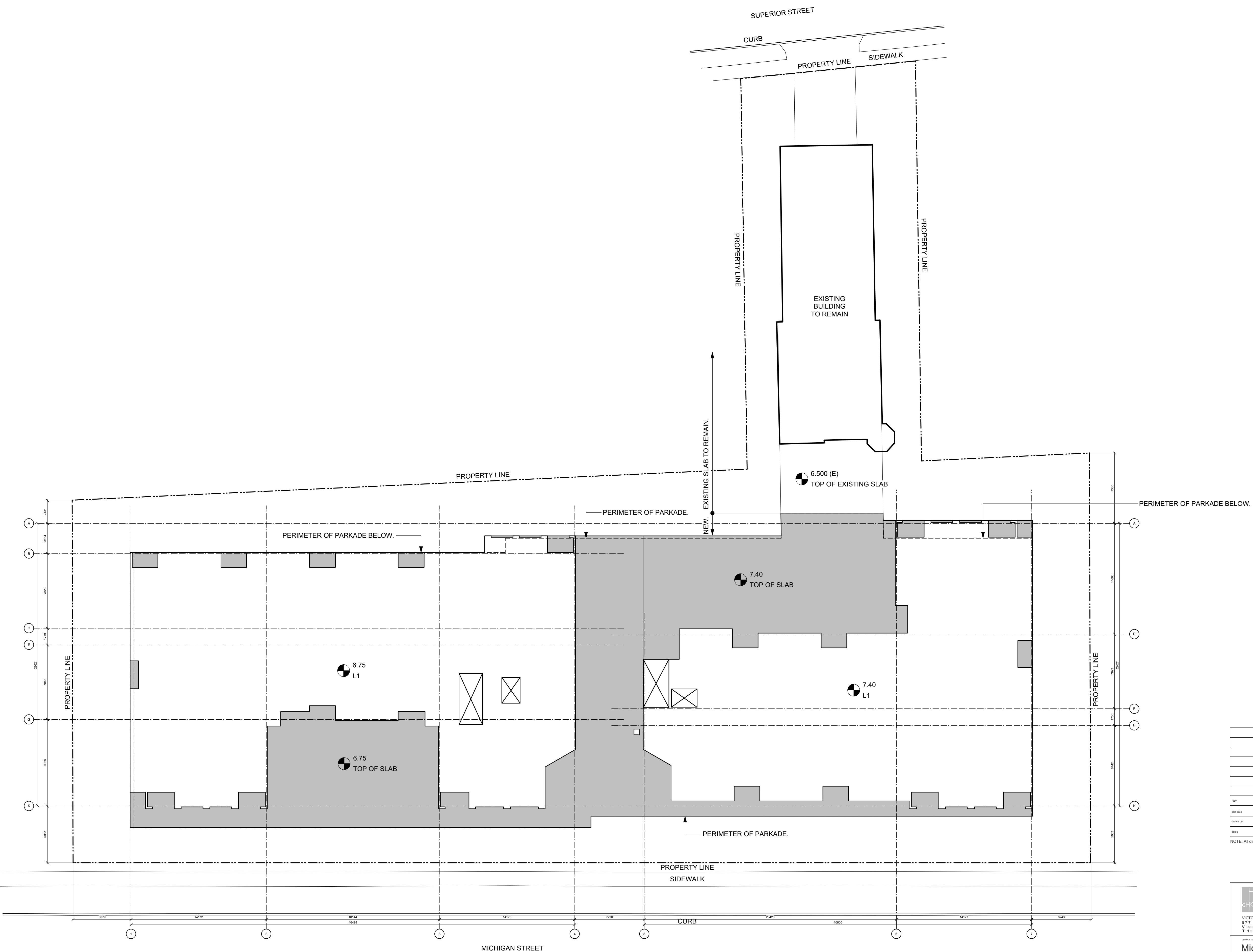
Parkade Plan

sheet no. **A101**



1 Parkade
Scale: 1:200
A101

NOTE: All dimensions are shown in millimeters.



Date	Issue	Description
NOV 2019	1815 A200 Floor Plans	
	MAF, FWP	RAW
	AS SHOWN	1815

NOTE: All dimensions are shown in millimeters.

dhKarchitects

VICTORIA OFFICE
 977 Fort Street
 Victoria BC V8W 2K3
 T 1-250-858-5387

NANAIMO OFFICE
 102-5190 Dublin Way
 Nanaimo BC V9T 2K8
 T 1-250-855-5810

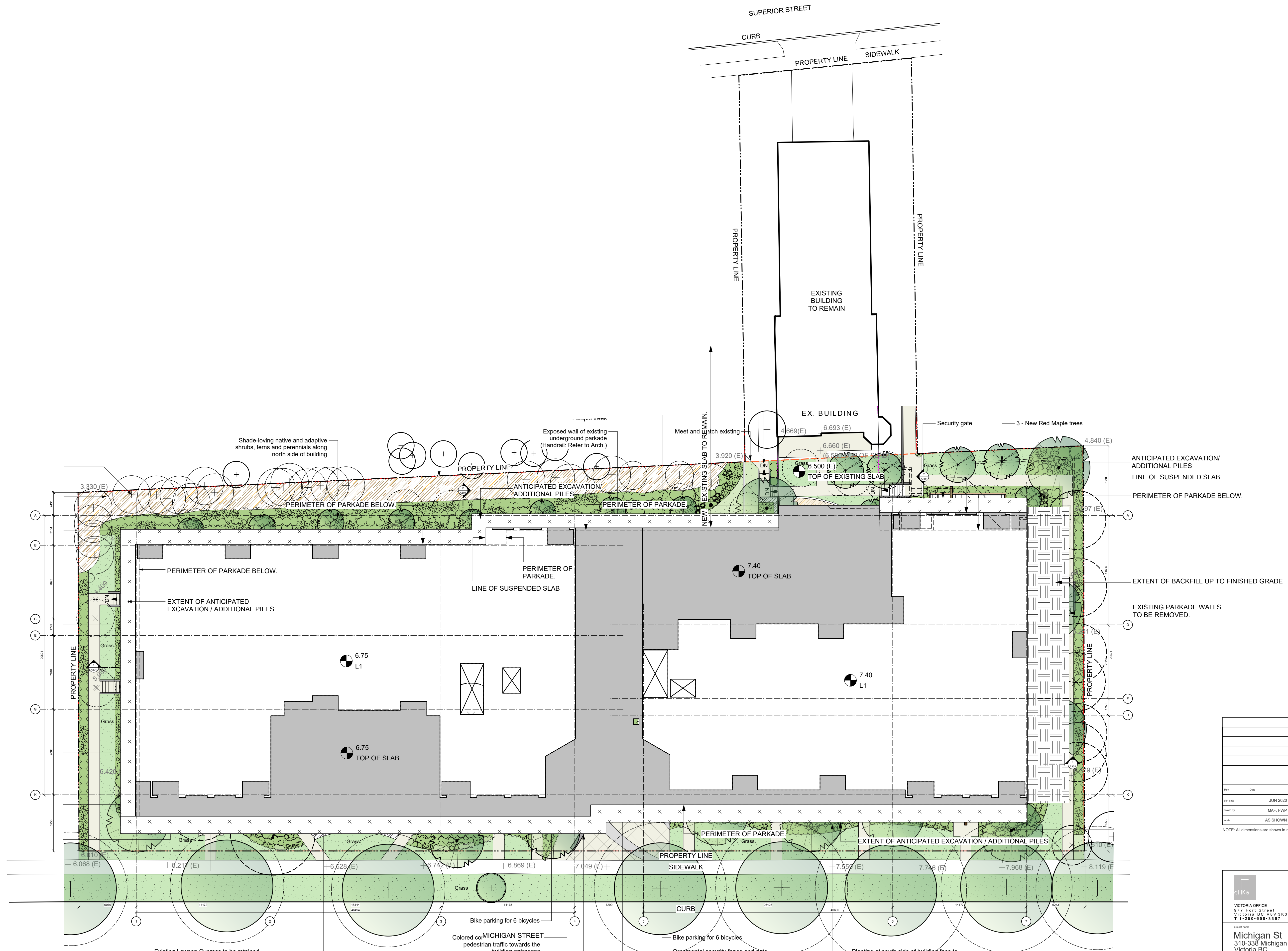
Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

Suspended Slab Plan

Project Name
 A102

Scale: 1:200

1
 A102
Suspended Slab Plan
 Scale: 1:200



- ANTICIPATED EXCAVATION / ADDITIONAL PILES
- LINE OF SUSPENDED SLAB
- PERIMETER OF PARKADE BELOW
- EXTENT OF BACKFILL UP TO FINISHED GRADE
- EXISTING PARKADE WALLS TO BE REMOVED

Rev	Date	Description

JUN 2020 1815 A200 Floor Plans view
 MAF, FWP
 AS SHOWN
 1815

NOTE: All dimensions are shown in millimeters.

dHkArchitects
 VICTORIA OFFICE
 977 Fort Street
 Victoria BC V8W 2K3
 T 1-250-858-3387

NANAIMO OFFICE
 102-5190 Dublin Way
 Nanaimo BC V9T 2K6
 T 1-250-858-5810

Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

Preliminary Excavation Plan
 A103

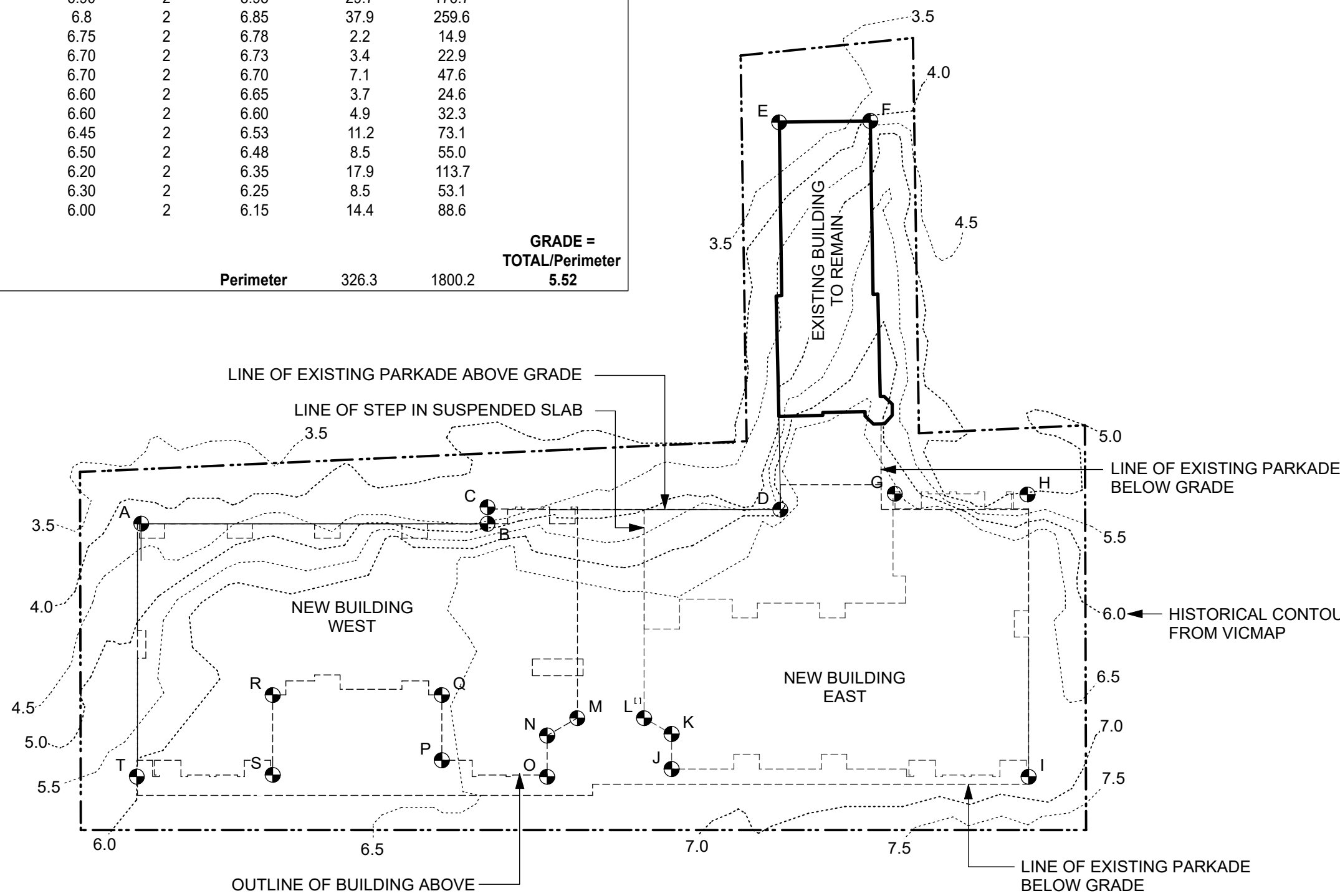
1
 A103
Suspended Slab Plan
 Scale: 1:200

0 5000 10000 mm
 1:200

N
 N

SIDE	corner grade point	+ corner grade point	/2	average grade per side	X length of side	TOTAL
AB	4.2	4.50	2	4.35	37	161.0
BC	4.5	4.40	2	4.45	1.5	6.7
CD	4.4	5.9	2	5.15	30.8	158.6
DE	5.9	3.00	2	4.45	41.1	182.9
EF	3	3.40	2	3.20	9.7	31.0
FG	3.4	6.65	2	5.03	41.2	207.0
GH	6.65	5.00	2	5.83	15.6	90.9
HI	5	6.90	2	5.95	29.7	176.7
IJ	6.9	6.8	2	6.85	37.9	259.6
JK	6.8	6.75	2	6.78	2.2	14.9
KL	6.75	6.70	2	6.73	3.4	22.9
LM	6.7	6.70	2	6.70	7.1	47.6
MN	6.7	6.60	2	6.65	3.7	24.6
NO	6.6	6.60	2	6.60	4.9	32.3
OP	6.6	6.45	2	6.53	11.2	73.1
PQ	6.45	6.50	2	6.48	8.5	55.0
QR	6.5	6.20	2	6.35	17.9	113.7
RS	6.2	6.30	2	6.25	8.5	53.1
ST	6.3	6.00	2	6.15	14.4	88.6
Perimeter					326.3	1800.2

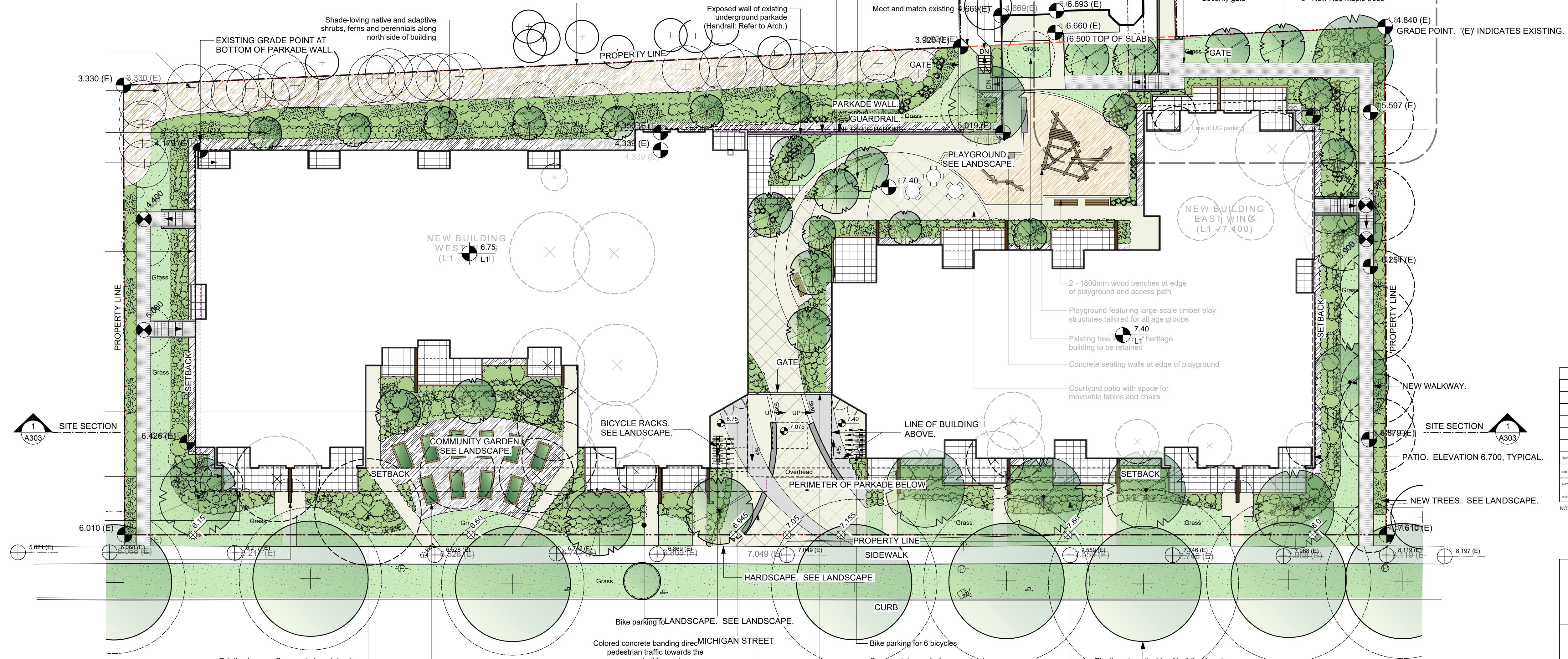
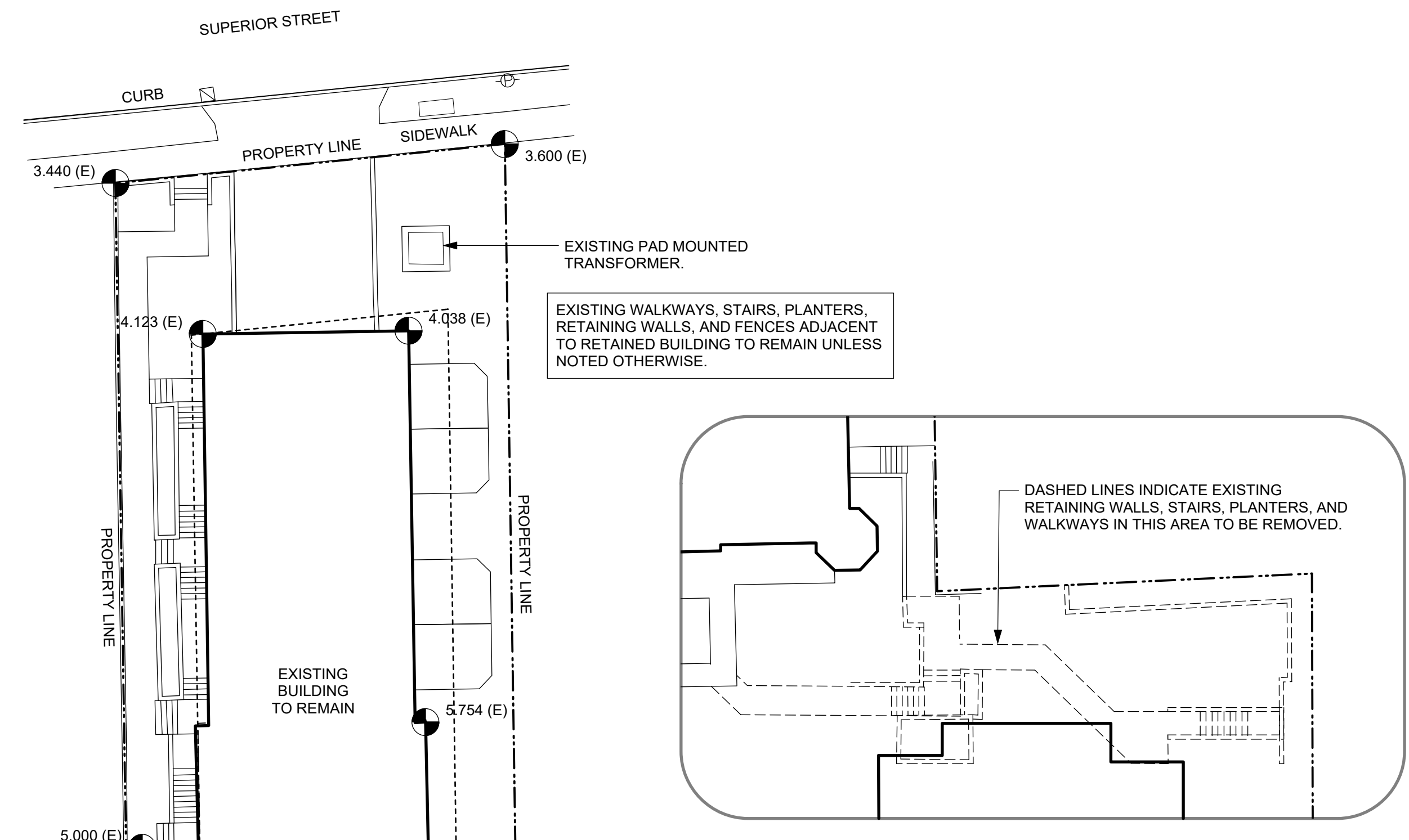
GRADE = TOTAL/Perimeter
5.52



2 Average Grade Calculation
A201 Scale: 1:500

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	R3-2 MULTIPLE DWELLING DISTRICT
PROPOSED ZONE	R3-2 MULTIPLE DWELLING WITH VARIANCES
SITE AREA (SM)	5074.1
TOTAL FLOOR AREA (SM)	7920 SM (7122 sm NEW + 798 sm EXISTING)
COMMERCIAL FLOOR AREA (SM)	0
FLOOR SPACE RATIO	1.56
SITE COVERAGE (%)	43.5
OPEN SITE SPACE (%)	55.5
HEIGHT OF NEW BUILDING (M) - WEST BUILDING	12.88 (14.76 AS MEASURED FROM AVERAGE GRADE)
HEIGHT OF NEW BUILDING (M) - EAST BUILDING	12.88 (14.11 AS MEASURED FROM AVERAGE GRADE)
NUMBER OF STOREYS	4
PARKING STALLS (NUMBER) ON SITE	70
BICYCLE PARKINGS NUMBER (CLASS 1 AND CLASS 2)	142 (131 long term + 11 short term)
NEW BUILDING SETBACKS (M)	
FRONT YARD (SOUTH)	5.50
REAR YARD (NORTH)	5.78
SIDE YARD (WEST)	6
SIDE YARD (EAST)	6
COMBINED SIDE YARDS	12
NEW RESIDENTIAL USE DETAILS	
TOTAL NUMBER OF NEW UNITS	97
NEW UNIT TYPES	STUDIO, ONE, TWO, & THREE BEDROOM
NEW GROUND ORIENTED UNITS	23
MINIMUM NEW UNIT FLOOR AREA (SM)	35
TOTAL NEW RESIDENTIAL FLOOR AREA (SM)	6051

SHORT TERM BIKE PARKING CALCULATION	
TOTAL REQUIRED	$\frac{106 \times 0.1 = 11}{11}$
PROVIDED	11



1 Site Plan
A201 Scale: 1:200

REV	DATE	DESCRIPTION	BY	CHECKED

DATE: JUN 2020
DRAWN BY: MAF, FWP
CHECKED BY: RAW
SCALE: AS SHOWN
PROJECT NUMBER: 1815
NOTE: All dimensions are shown in millimeters.

dHkarchitects
VICTORIA OFFICE: 977 Fort Street, Victoria BC V8V 3K3, T: 1-250-858-9387
NANAIMO OFFICE: 102-5190 Dublin Way, Nanaimo BC V9T 2K8, T: 1-250-855-5810

Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

Architectural Site Plan
A201



BUILDING 1 (WEST) UNIT COMPOSITION

UNIT/LEVEL	L1	L2-L3	L4	TOTAL
STUDIO	3	0	0	3
ONE BED	3	12*	5*	20
TWO BED	5	12	7	24
THREE BED	1	4	1	6
TOTAL	12	28	13	53

* INCLUDES 3 HANDICAPPED ACCESSIBLE UNITS

BUILDING 2 (EAST) UNIT COMPOSITION

UNIT/LEVEL	L1	L2-L4	TOTAL
STUDIO	1*	3*	4
ONE BED	4	9*	13
TWO BED	5	18	23
THREE BED	1	3	4
TOTAL	11	33	44

* INCLUDES 4 HANDICAPPED ACCESSIBLE UNITS

REV	DATE	DESCRIPTION
01	NOV 2019	1815 A200 Floor Plans - view
02	MAF, FWP	checked by RAW
03	AS SHOWN	project number 1815

NOTE: All dimensions are shown in millimeters.

dHkA

VICTORIA OFFICE
977 Fort Street
VICTORIA BC V8V 3K3
T 1-250-858-3387

dHKarchitects

NANAIMO OFFICE
102-5190 Dublin Way
NANAIMO BC V9T 2K6
T 1-250-585-5810

project name
Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

sheet name
L1 Plan

copyright reserved. these plans and designs are not to be used without the permission of dHkA ARCHITECTS. FOR MORE INFORMATION CONTACT: 1-250-858-3387. WITHOUT WARRANTIES OR CONDITIONS.

sheet no. **A202**

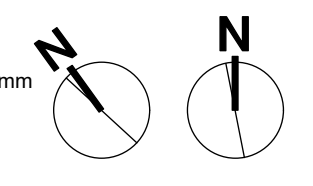
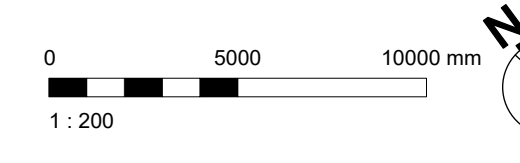
1
A202

L1 - Main Floor
Scale: 1:200

0 5000 10000 mm
1:200



1
A203
L2 - L4 Floors
Scale: 1:200



Rev	Date	Description
1	NOV 2019	1815 A200 Floor Plans.vrx
2	MAF, FWP	checked by RAW
3	AS SHOWN	project number 1815

NOTE: All dimensions are shown in millimeters.

dHka

VICTORIA OFFICE
977 Fort Street
VICTORIA BC V8V 3K3
T 1-250-858-3387

dHKarchitects

NANAIMO OFFICE
102-5190 Dublin Way
NANAIMO BC V9T 2K6
T 1-250-585-5810

project name
Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

L2 - L3 Plans

A203	-
------	---



Date	By	Description
NOV 2019	MAF, FWP	1815 A200 Floor Plans.v19
AS SHOWN	RAW	1815

NOTE: All dimensions are shown in millimeters.

dHk architects

VICTORIA OFFICE
977 Fort Street
VICTORIA BC V8V 3K3
T 1-250-858-3387

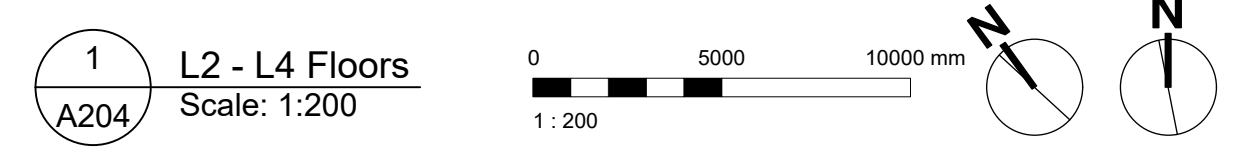
NANAIMO OFFICE
102-5190 Dublin Way
NANAIMO BC V9T 2K6
T 1-250-585-5810

Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

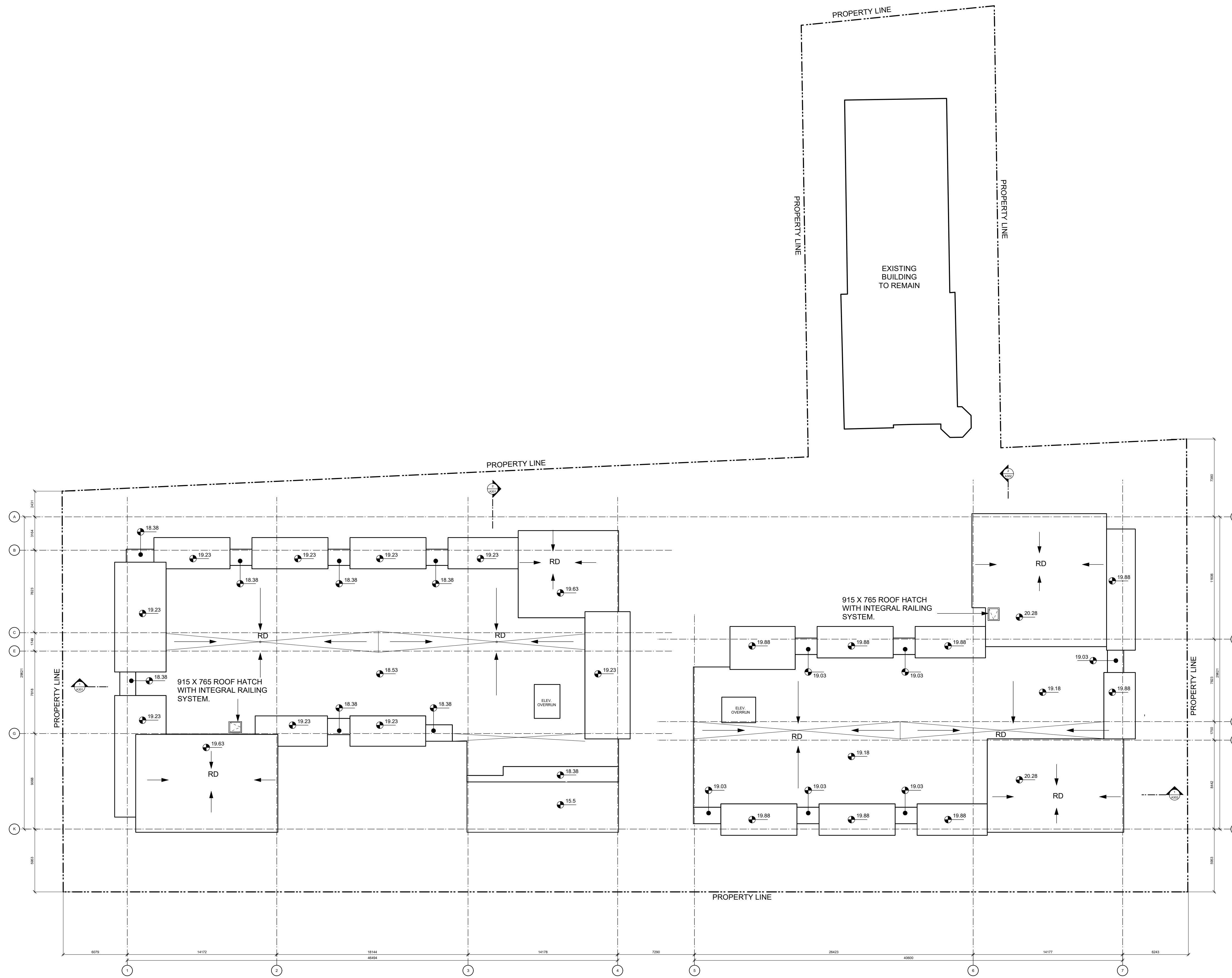
L4 Plan

Scale: 1:200

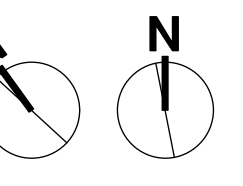
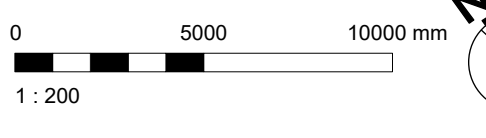
A204



1 L2 - L4 Floors
A204 Scale: 1:200



1 Roof Plan
 A205 Scale: 1:200



Date	Issue	Description
NOV 2019	MAF, FWP	1815 A200 Floor Plans.v19
	AS SHOWN	RAW
		1815

NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
 977 Fort Street
 Victoria BC V8W 2K3
 T 1-250-858-3387

NANAIMO OFFICE
 102-5190 Dublin Way
 Nanaimo BC V9T 2W6
 T 1-250-858-5810

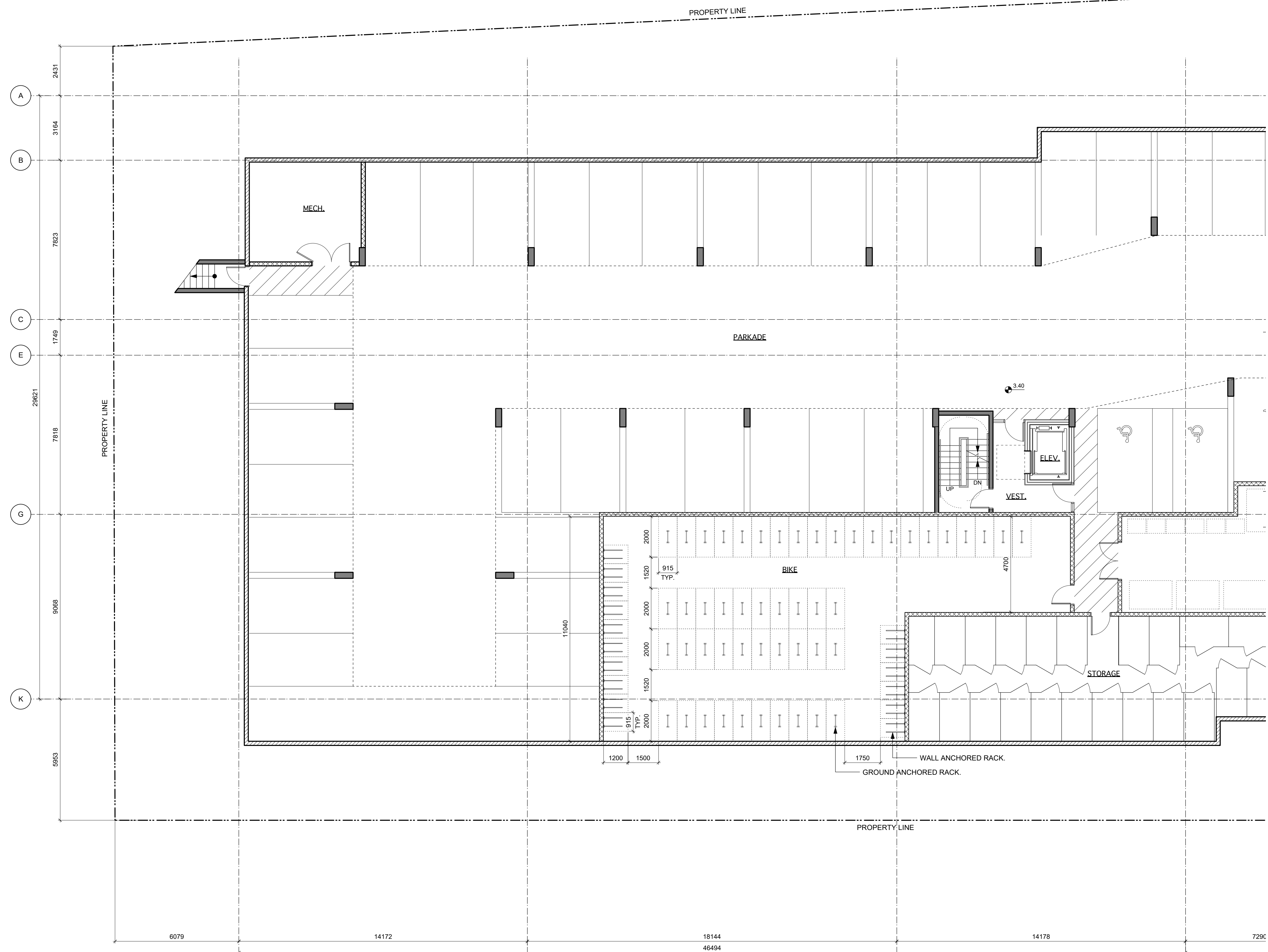
project name
Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

Roof Plan

Copyright reserved. These plans and designs are and at all times remain the property of dHk Architects and shall not be used for any other project without the prior written consent of dHk Architects.

sheet no.
A205

date
 -

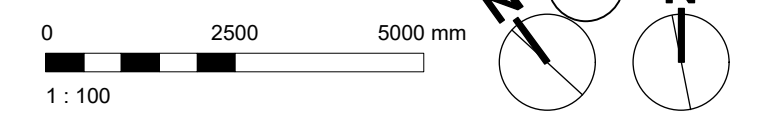


Rev	Date	Description

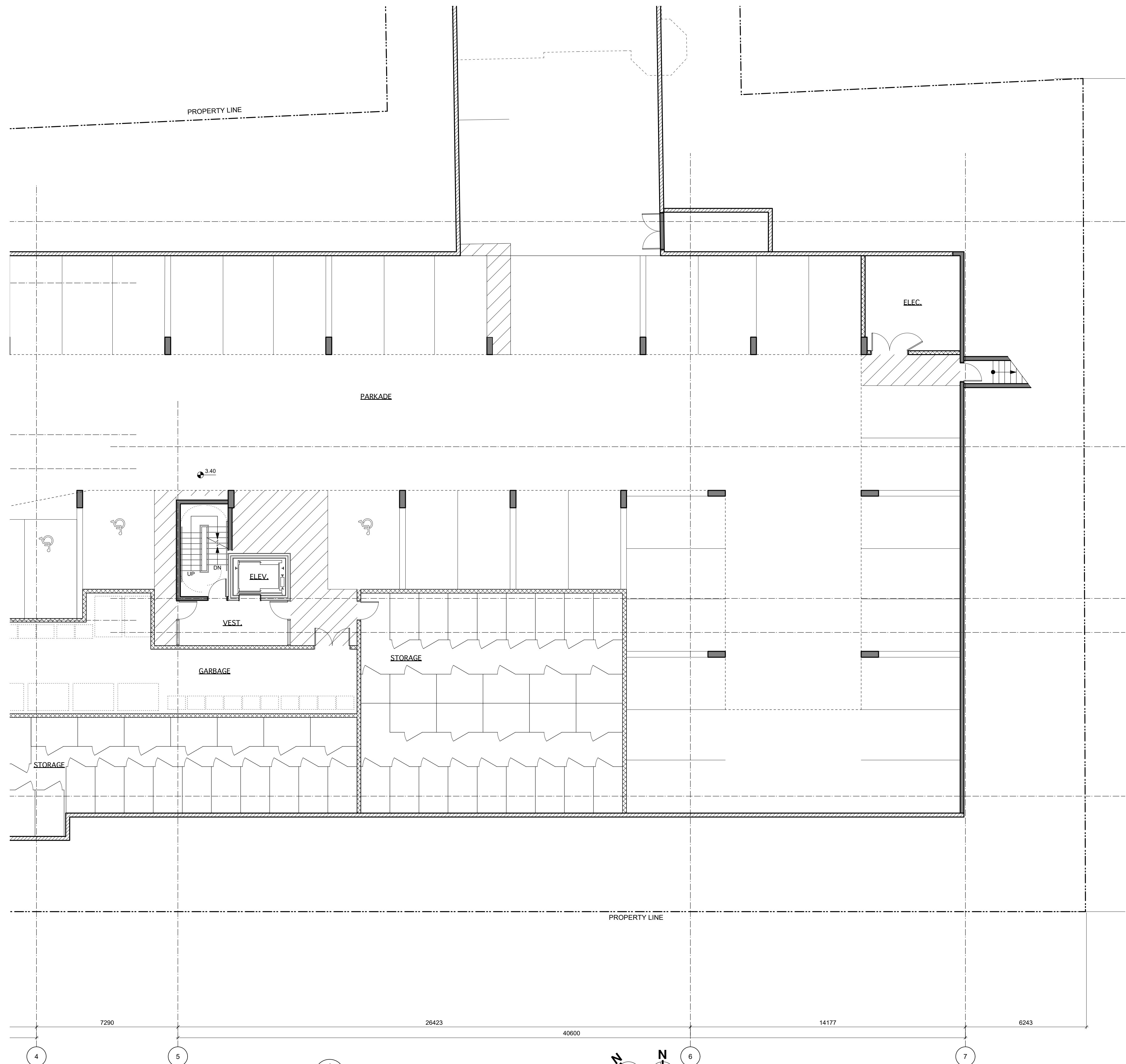
proj date	NOV 2019	drawing file	1815 A200 Floor Plans.rvt
drawn by	MAF, FWP	checked by	RAW
scale	AS SHOWN	project number	1815

NOTE: All dimensions are shown in millimeters.

1 Enlarged Parkade Plan - West
Scale: 1:100



 dHKarchitects	
VICTORIA OFFICE 977 Fort St Victoria BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
Michigan St 310-338 Michigan St. & 333 Superior St. Victoria BC	
Enlarged Parkade Plan - West	
<small>Copyright reserved. These plans and designs are and all that remain the property of dHkA architects. No part may be reproduced without written consent.</small>	sheet no. A250

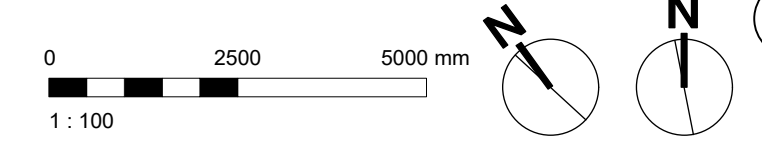


Rev	Date	Description

sheet name: NOV 2019 drawing title: 1815 A200 Floor Plans view
 drawn by: MAF, FWP checked by: RAW
 scale: AS SHOWN project number: 1815

NOTE: All dimensions are shown in millimeters.

1
 Enlarged Parkade Plan - East
 Scale: 1:100



dHKarchitects
 VICTORIA OFFICE: 977 Fort St east, Victoria BC V8V 3K3, T 1-250-858-3387
 NANAIMO OFFICE: 102-5190 Dublin Way, Nanaimo BC V9T 2R8, T 1-250-585-5810

project name:
Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

Enlarged Parkade Plan - East

sheet no.	A251	total no.	-
-----------	------	-----------	---



1 Enlarged Main Floor Plan - West
 Scale: 1:100

0 2500 5000 mm
 1:100

Rev	Date	Description

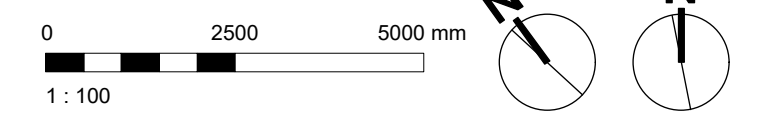
print date	NOV 2019	drawing file	1815 A200 Floor Plans.rvt
drawn by	MAF, FWP	checked by	RAW
scale	AS SHOWN	project number	1815

NOTE: All dimensions are shown in millimeters.

<p>VICTORIA OFFICE 977 Fort St Victoria BC V8V 3K3 T 1-250-858-3387</p>	<p>NAIMANO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-855-5810</p>
<p>project name Michigan St 310-338 Michigan St. & 333 Superior St. Victoria BC</p>	
<p>Enlarged L1 Plan - West Building</p>	
<p>sheet no. A252</p>	<p>total sheets -</p>



1 Enlarged L4 Plan - West
A254 Scale: 1:100



Rev	Date	Description

print date	NOV 2019	drawing file	1815 A200 Floor Plans.rvt
drawn by	MAF, FWP	checked by	RAW
scale	AS SHOWN	project number	1815

NOTE: All dimensions are shown in millimeters.

dHKarchitects

<p>VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387</p>	<p>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1-250-885-5810</p>
---	---

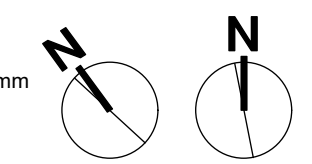
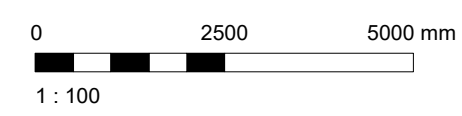
project name
Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

Enlarged L4 Plans - West Building

author	A254	revision	-
--------	------	----------	---



1 Enlarged Main Floor Plan - East
A255 Scale: 1:100



Rev	Date	Description
01	NOV 2019	1815 A200 Floor Plans view

Drawn by: MAF, FWP Checked by: RAW
 Scale: AS SHOWN Project number: 1815
 NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
 977 Fort St. West
 Victoria BC V8V 3K3
 T 1-250-858-3387

NANAIMO OFFICE
 102-5190 Dublin Way
 Nanaimo BC V9T 2K6
 T 1-250-585-5810

Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

Enlarged L1 Plan - East Building
 A255 -



Rev	Date	Description

proj date	NOV 2019	drawing title	1815 A200 Floor Plans view
drawn by	MAF, FWP	checked by	RAW
scale	AS SHOWN	project number	1815

NOTE: All dimensions are shown in millimeters.

dHKa

VICTORIA OFFICE
977 Fort Street
Victoria BC V8W 2K3
T 1-250-858-3387

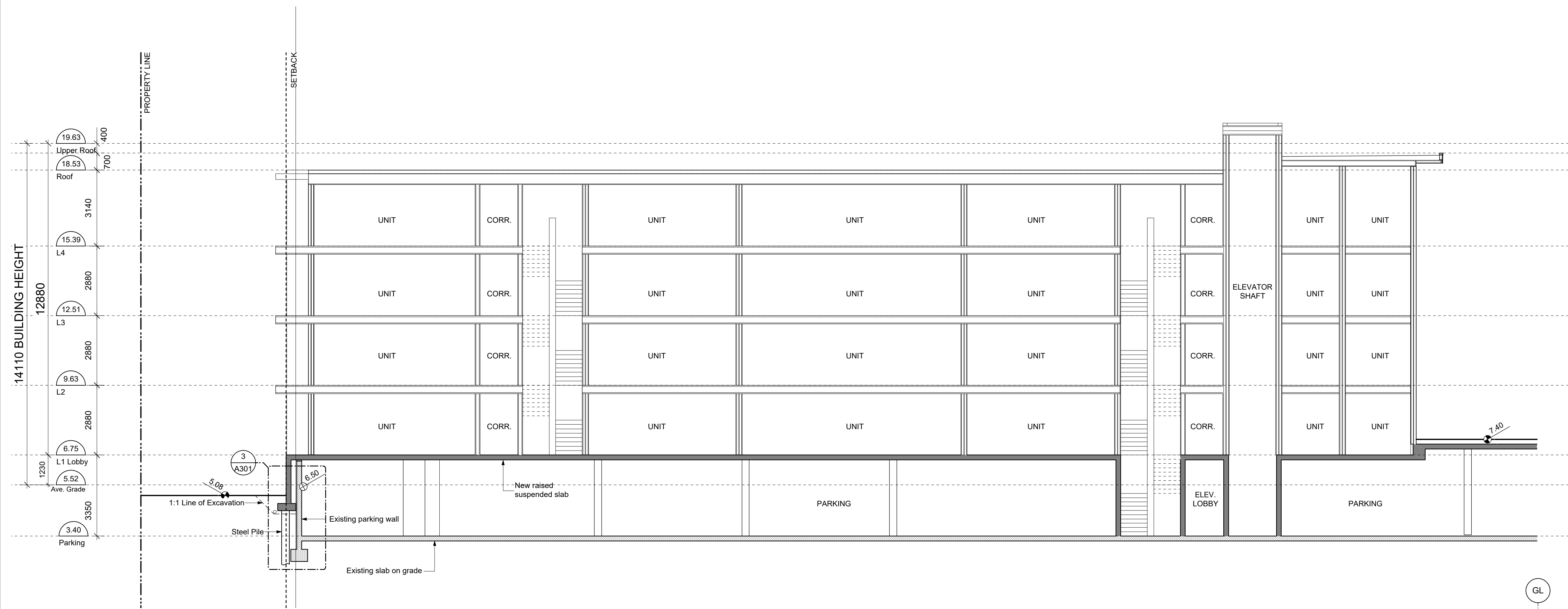
dHKarchitects

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K8
T 1-250-885-5810

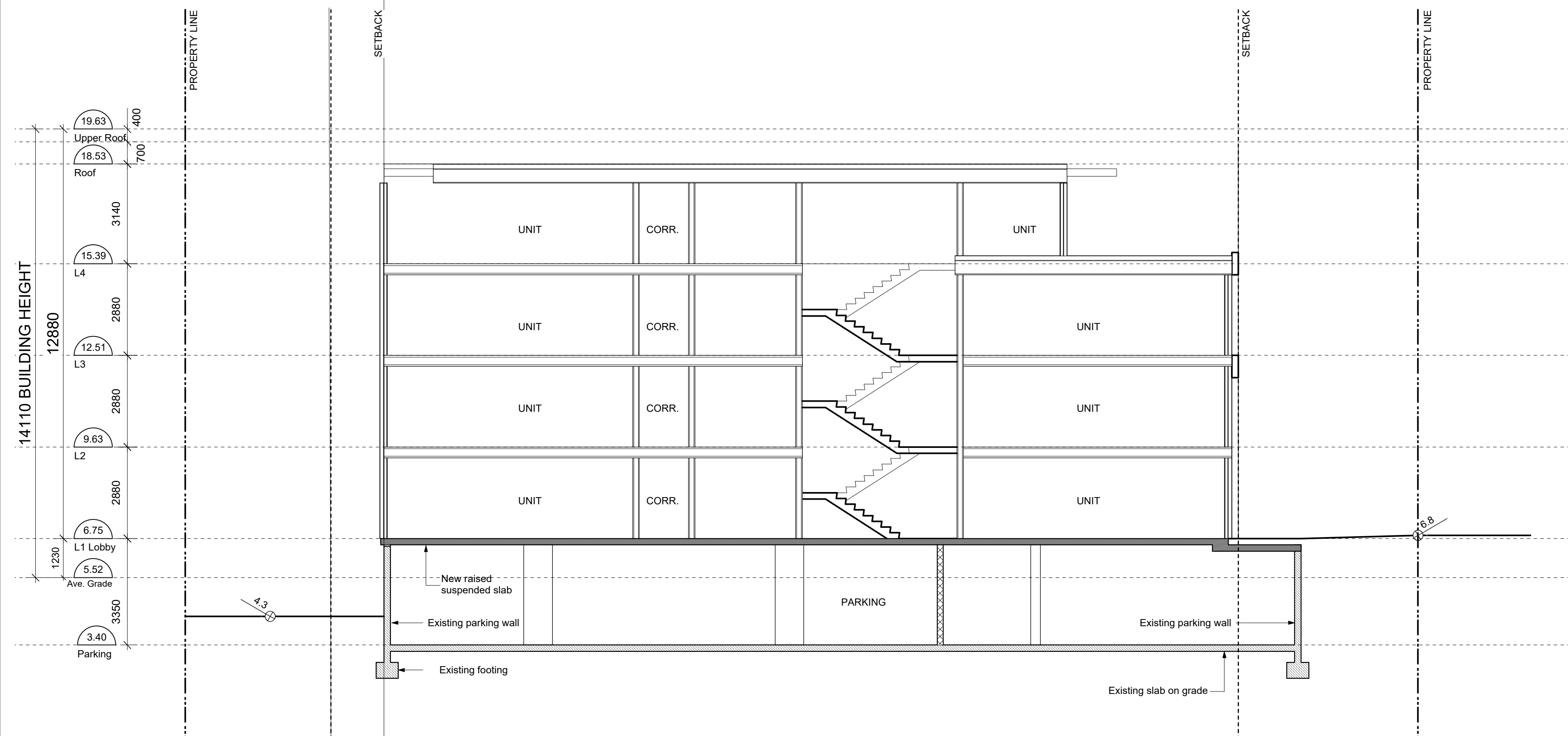
project name
Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

Enlarged L2-L4 Plans - East Building

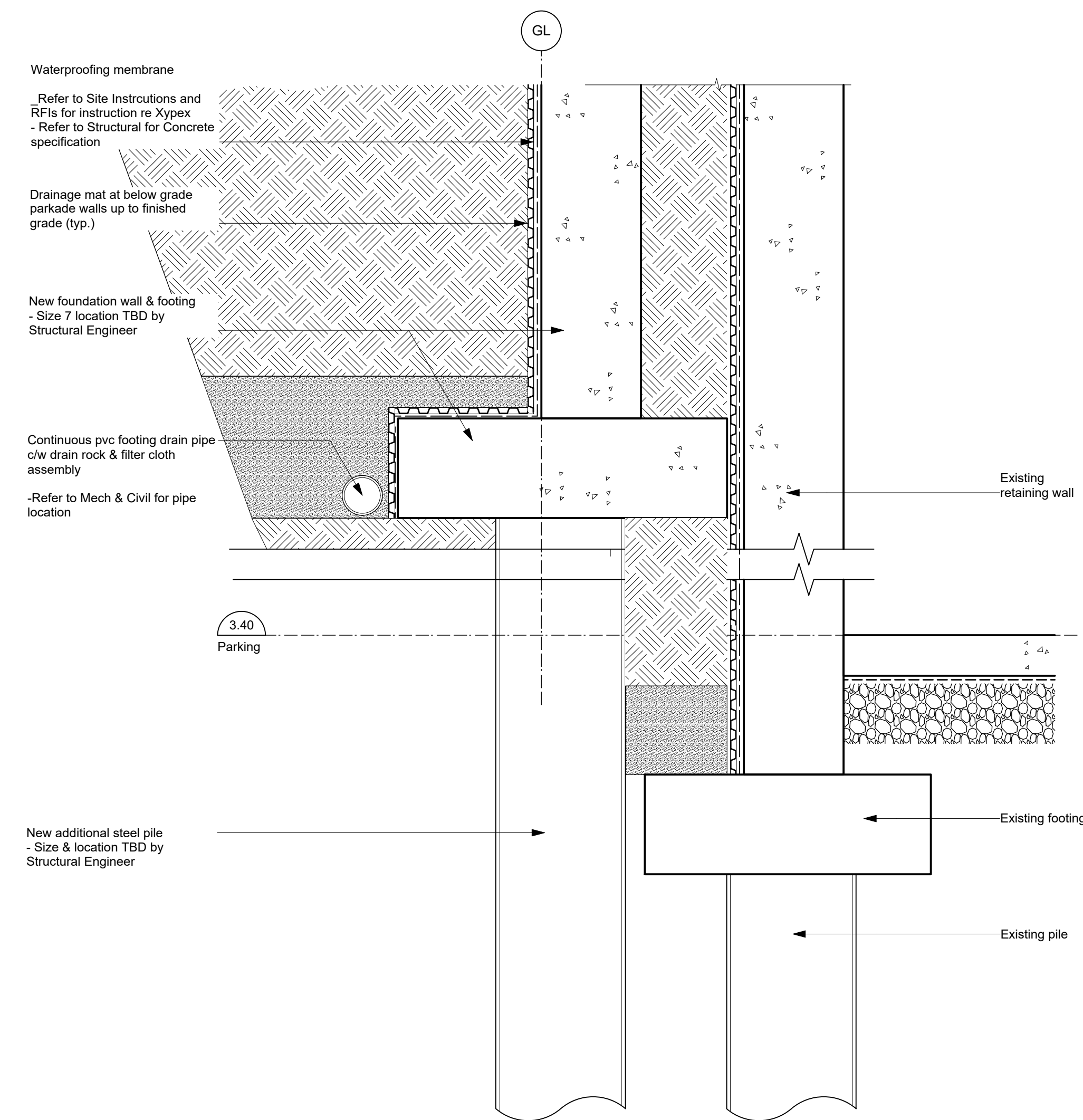
drawing no.	A256	revision no.	-
-------------	------	--------------	---



1 Section 1 - West Building
Scale: 1:100



2 Section 2 - West Building
Scale: 1:100



3 Cross Section
Scale: 1:10

Date	By	Description
JUN 2020	MAF	1815 A300 Sections v1xk
AS SHOWN	MAF	1815

NOTE: All dimensions are shown in millimeters.

dHKarchitects

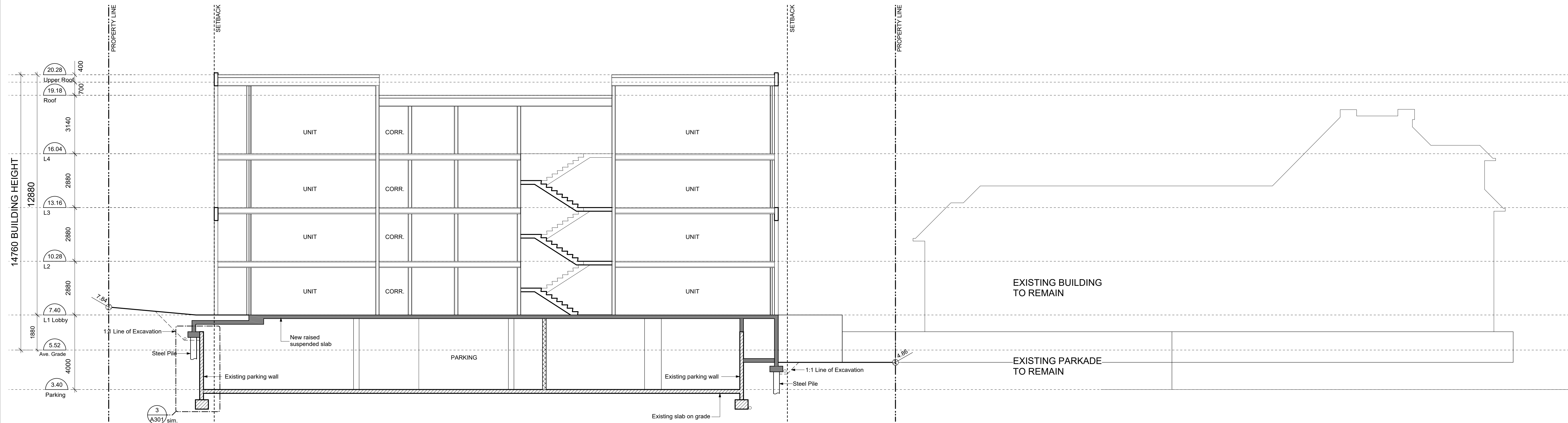
VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5190 Durbin Way
Nanaimo BC V9T 2W6
T 1-250-585-5810

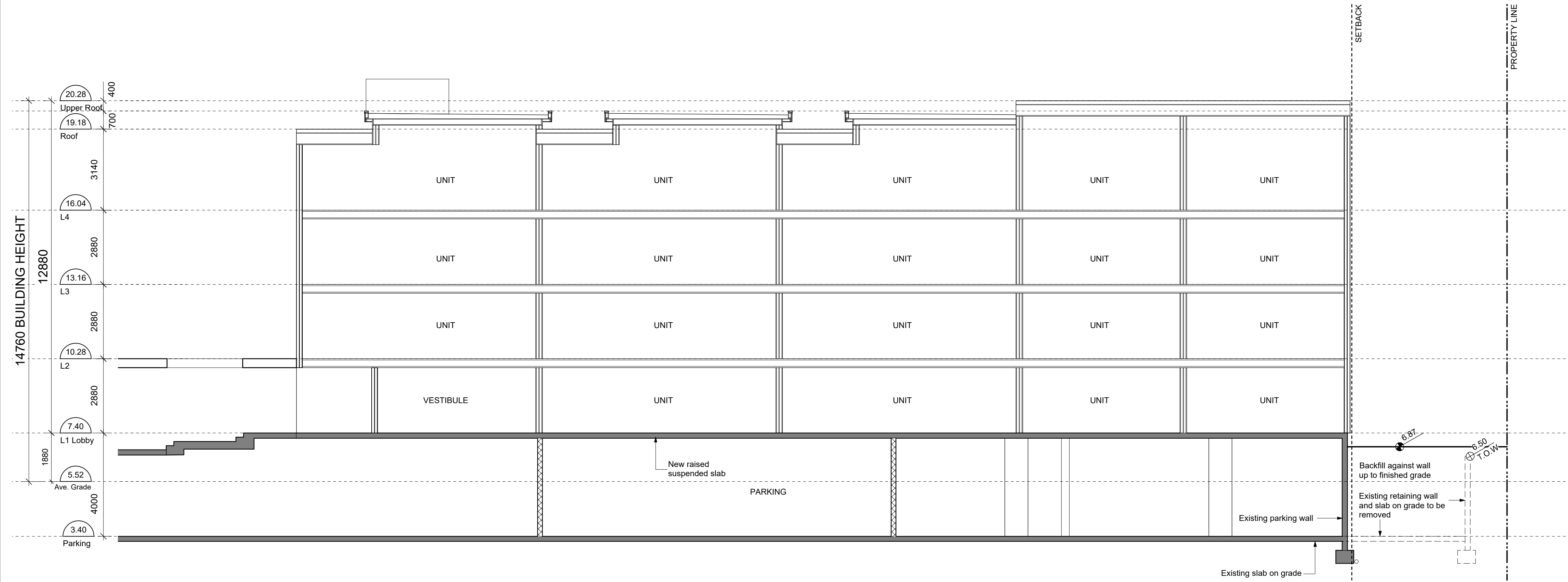
Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

Sections - West Building

Project No: A301



1 Section 3 - East Building
Scale: 1:100
A302



2 Section 4 - East Building
Scale: 1:100
A302

Date	By	Description
JUN 2020	MAF	1815 A300 Sections v1x1
		RAW
		1815

NOTE: All dimensions are shown in millimeters.

dHKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3387

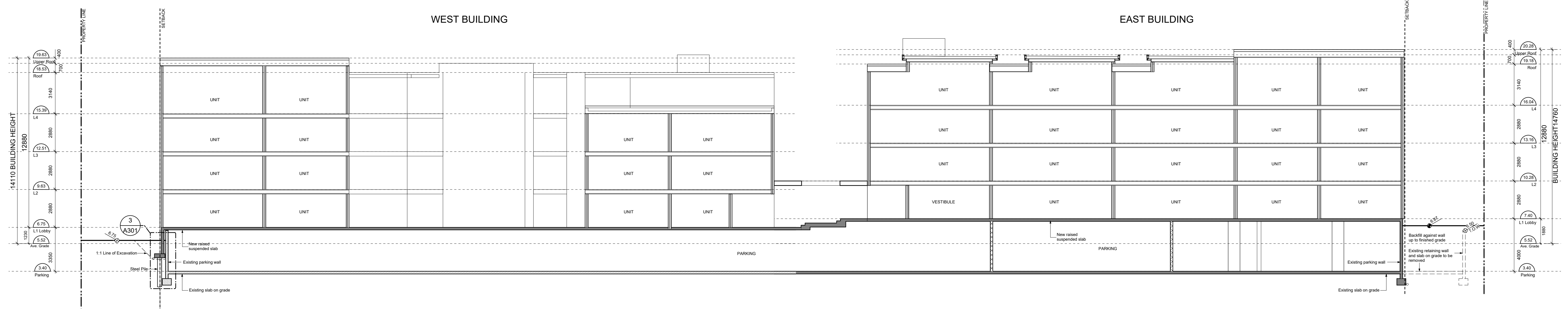
NANAIMO OFFICE
102-5190 Durbin Way
Nanaimo BC V9T 2K6
T 1-250-985-5810

Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

Sections - East Building

Project No: A302

Scale: 1:100



1 Section - Site Section
 A303 Scale: 1:150

Rev.	Date	Description

plot date:	JUN 2020	drawing file:	1815 A300 Sections.vrx
drawn by:	MAF	checked by:	RAW
scale:	AS SHOWN	project number:	1815

NOTE: All dimensions are shown in millimeters.

 dHKarchitects	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	NANAIMO OFFICE 102-5190 Duffin Way Nanaimo BC V9T 2A6 T 1-250-585-5810
Michigan St 310-338 Michigan St. & 333 Superior St. Victoria BC	
Site Section	A303

DISCLAIMER: THESE PLANS AND DECISIONS ARE MADE AT ALL TIMES BY THE PROPERTY OWNER AND ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE PROJECT OUTCOME AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



1 South Elevation / West Building
Scale: 1:100



2 East Elevation / West Building
Scale: 1:100

Rev.	Date	Description

dhKarchitects

VICTORIA OFFICE
977 Fort Street
VICTORIA BC V8V 2K3
T 1-250-658-3367

NANAIMO OFFICE
102-5196 Dublin Way
NANAIMO BC V9T 2R8
T 1-250-585-5810

Michigan St
310-338 Michigan St. & 333 Superior St.
Victoria BC

Elevations - West Building

PROJECT NAME: A401

DATE: -

SCALE: -

NOTE: ALL DIMENSIONS ARE SHOWN IN MILLIMETERS.



1 North Elevation / West Building
Scale: 1:100
A402



2 West Elevation / West Building
Scale: 1:100
A402

Rev.	Date	Description

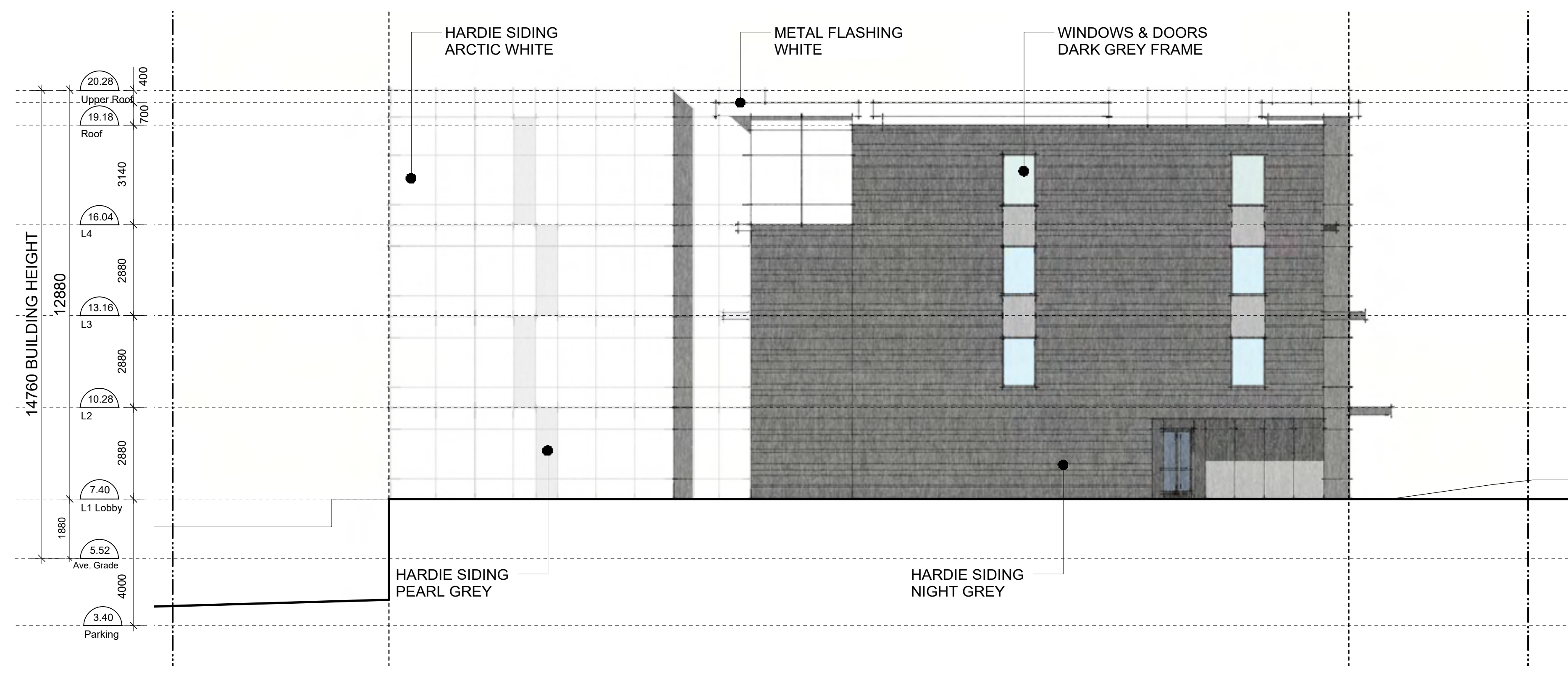
project	NOV 2019	drawing file	1815.3 A400 Elevations
drawn by	rlc	checked by	FAW
scale	As Shown	project number	1815

NOTE: All dimensions are shown in millimeters.

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810	
		Michigan St 310-338 Michigan St. & 333 Superior St. Victoria BC
Elevations - West Building		
COPYRIGHT RESERVED: THESE DRAWINGS AND SERVICES ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF dHKarchitects.	sheet no. A402	total no. -



1 North Elevation / East Building
Scale: 1:100
A404



2 West Elevation / East Building
Scale: 1:100
A404

Rev	Date	Description

project name	NOV 2019	drawing file	1815.3 A400 Elevations
drawn by	rlc	checked by	rlw
scale	As Shown	project number	1815

NOTE: All dimensions are shown in millimeters.

<p>dHKarchitects</p> <p>VICTORIA OFFICE 977 Fort Street Victoria BC V8V 2K3 T 1-250-658-3367</p>	<p>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810</p>
<p>Michigan St 310-338 Michigan St. & 333 Superior St. Victoria BC</p>	
<p>Elevations - East Building</p>	
<p>Project Name A404</p>	<p>Revision No. -</p>



1 South Elevation
Scale: 1:150
A405



2 North Elevation
Scale: 1:150
A405

Rev.	Date	Description

prepared	NOV 2019	drawing file	18153_A405 Elevations
drawn by	rlc	checked by	fmw
scale	As Shown	project number	1815

NOTE: All dimensions are shown in millimeters.

	dHKarchitects
	VICTORIA OFFICE 677 Port Street Victoria BC V8V 2K3 T 1-250-658-3367
	NANAIMO OFFICE 102-5186 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
	project name Michigan St 310-338 Michigan St. & 333 Superior St. Victoria BC
Context Elevations	
<small>COPYRIGHT RESERVED: THESE DRAWINGS, SPECIFICATIONS AND ALL OTHER INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF dHK ARCHITECTS. NO PART OF THIS PROJECT DOCUMENTS MAY BE REPRODUCED WITHOUT WRITTEN CONSENT.</small>	<small>ISSUED FOR:</small> A405



1 Perspective - Bird's Eye
Scale: n.t.s.
A501



2 Perspective - Street View
Scale: n.t.s.
A501



3 Perspective - Street Entry
Scale: n.t.s.
A501



4 Perspective - Courtyard
Scale: n.t.s.
A501

Rev	Date	Description

plot date	NOV 2019	drawing no.	1815.3 A501 Perspectives
drawn by	RLC	checked by	FBW
scale	n.t.s.	project number	1815

NOTE: All dimensions are shown in millimeters.

<p>dHKarchitects</p> <p><small>VICTORIA OFFICE 917 Fort Street Victoria BC V8V 2K3 T 1-250-658-3367</small></p> <p><small>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 3W2 T 1-250-585-5810</small></p> <p><small>project name</small></p> <p>Michigan St. 310-338 Michigan St. & 333 Superior St. Victoria, BC</p> <p>Perspectives</p> <p><small>COPYRIGHT RESERVED. THESE PLANS AND DIMENSIONS ARE FOR ALL THREE SERVICES. THE PROJECT SHOWN AND MAY NOT BE IDENTICAL TO THE FINAL CONSTRUCTION.</small></p>	<p>sheet no.</p> <p>A501</p> <p>total no.</p> <p>-</p>
--	---

SUMMER SOLSTICE - 21 JUNE



10 AM



12 PM



2 PM

EQUINOX - 21 SEPTEMBER



10 AM



12 PM



2 PM

Rev	Date	Description

date	NOV 2019	drawing no.	1815 A505 Shadow Studies view
drawn by	MAF	checked by	RAW
scale	AS SHOWN	project number	1815

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulf architects

VICTORIA OFFICE
 977 Fort Street
 Victoria BC V8W 2K3
 T 1-250-858-3387

NANAIMO OFFICE
 102-5190 Dublin Way
 Nanaimo BC V9T 2K6
 T 1-250-585-5810

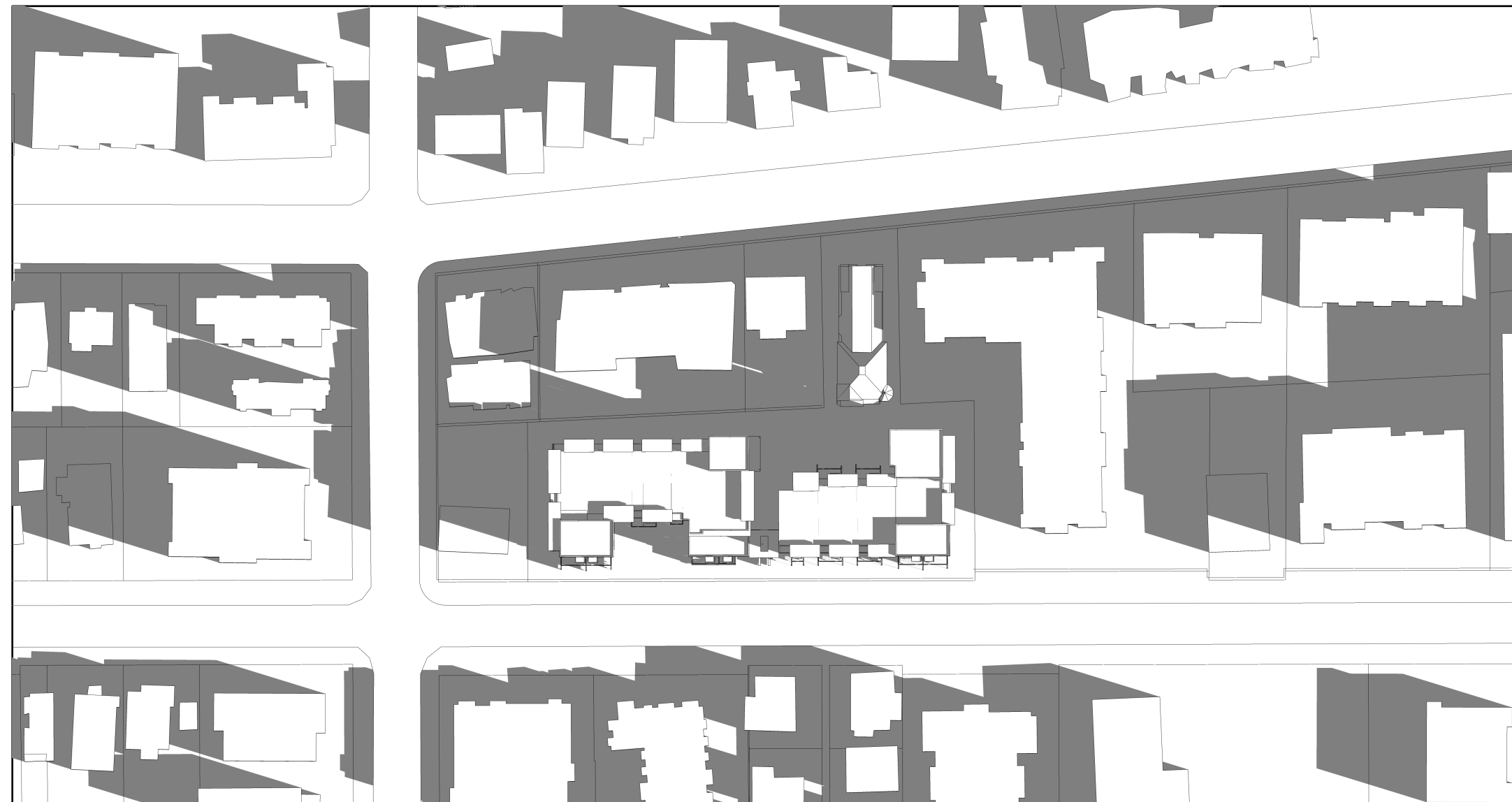
project name
Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

Shadow Studies

Copyright reserved. These plans and designs are and all in them remain the property of de Hoog & Kierulf architects. No reproduction for any project without our prior written consent without written consent.

A505

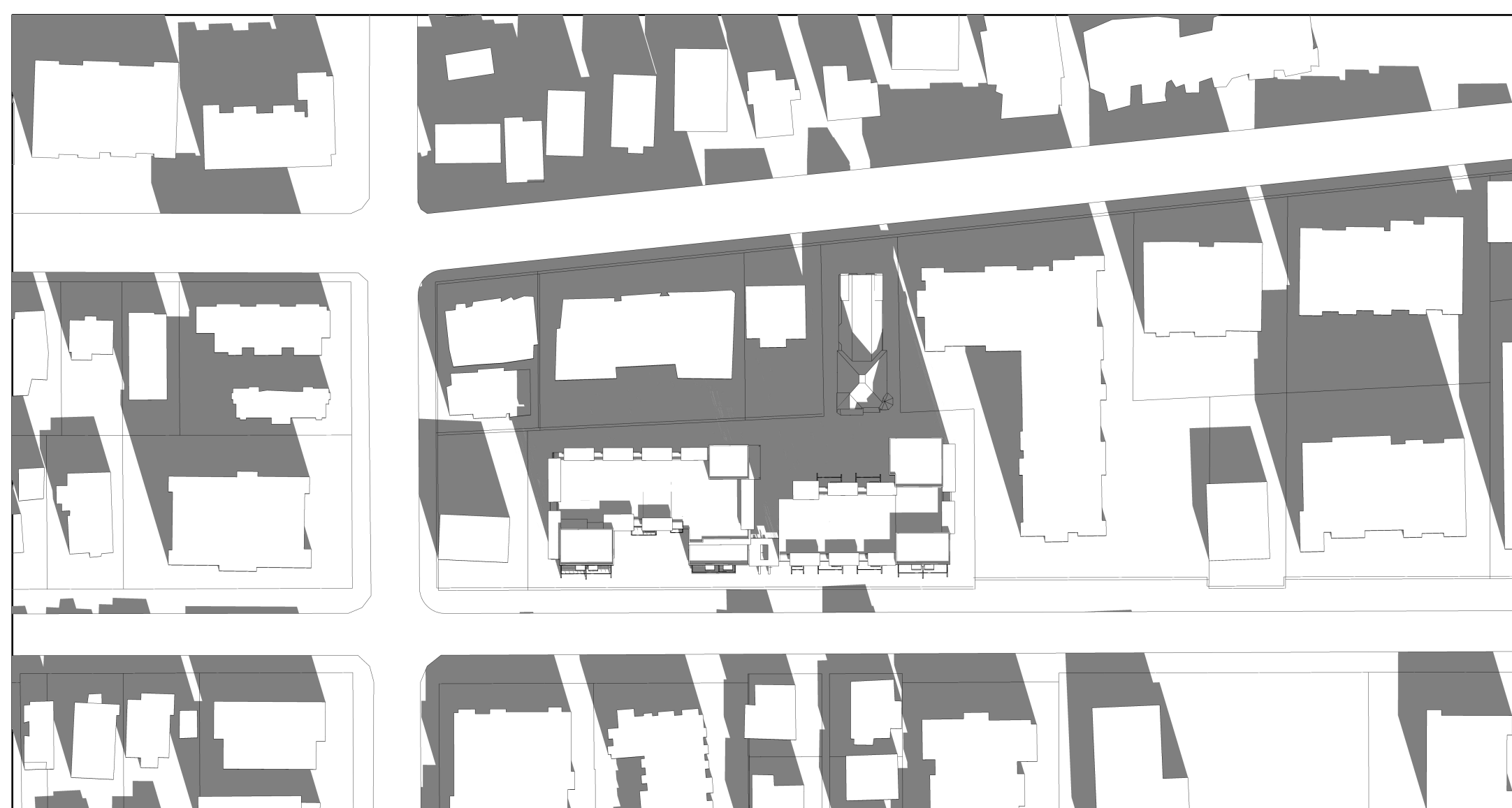
WINTER SOLSTICE - 21 DECEMBER



10 AM



12 PM



2 PM

Rev	Date	Description

print date	NOV 2019	drawing file	1815 A506 Shadow Studies view
drawn by	MAF	checked by	RAW
scale	AS SHOWN	project number	1815

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulff architects

VICTORIA OFFICE
 977 Fort St
 888110 BC V8V 3K3
 T 1-250-858-3387

NANAIMO OFFICE
 102-5190 Dublin Way
 Nanaimo BC V9T 2K6
 T 1-250-585-5810

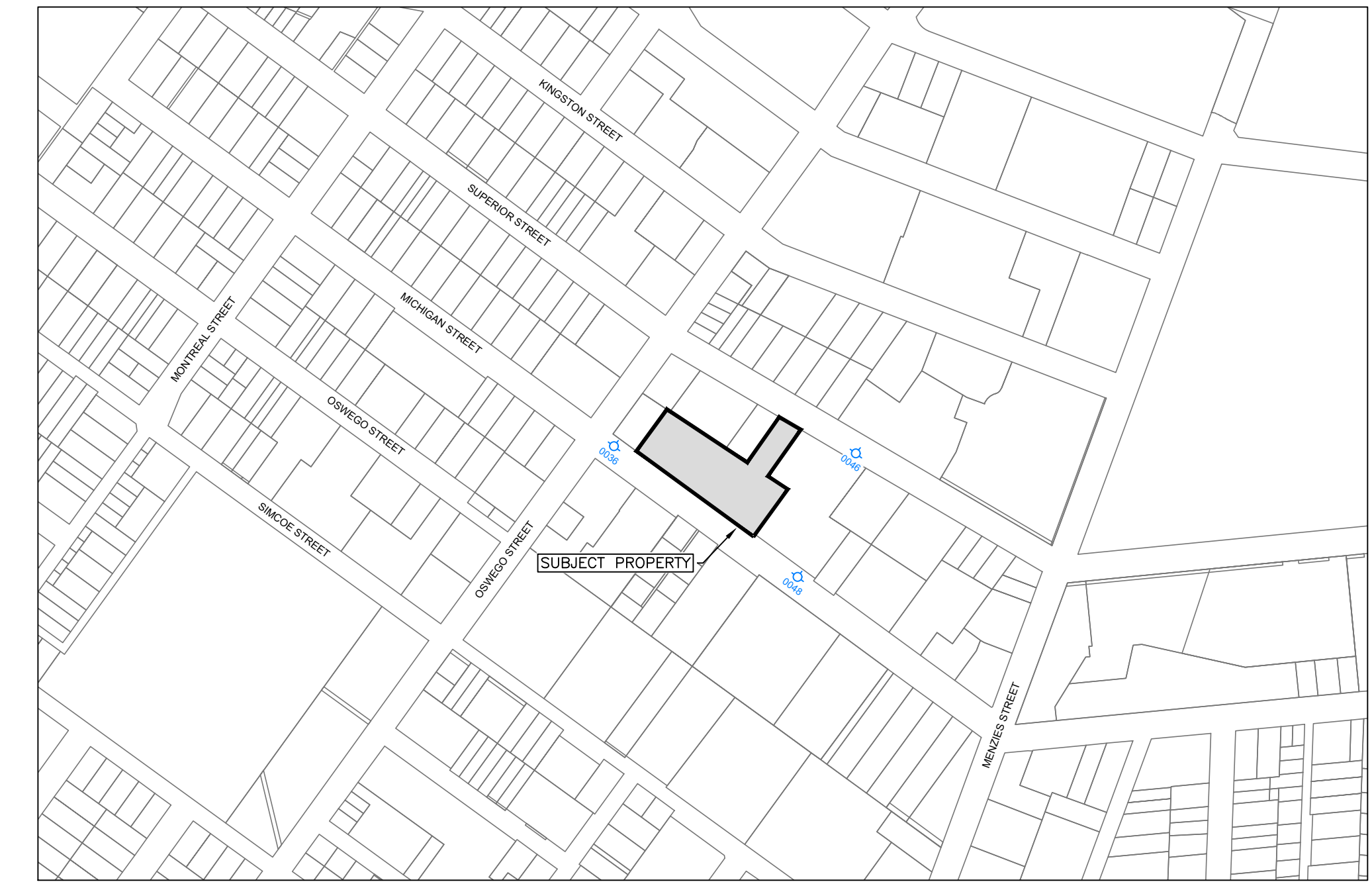
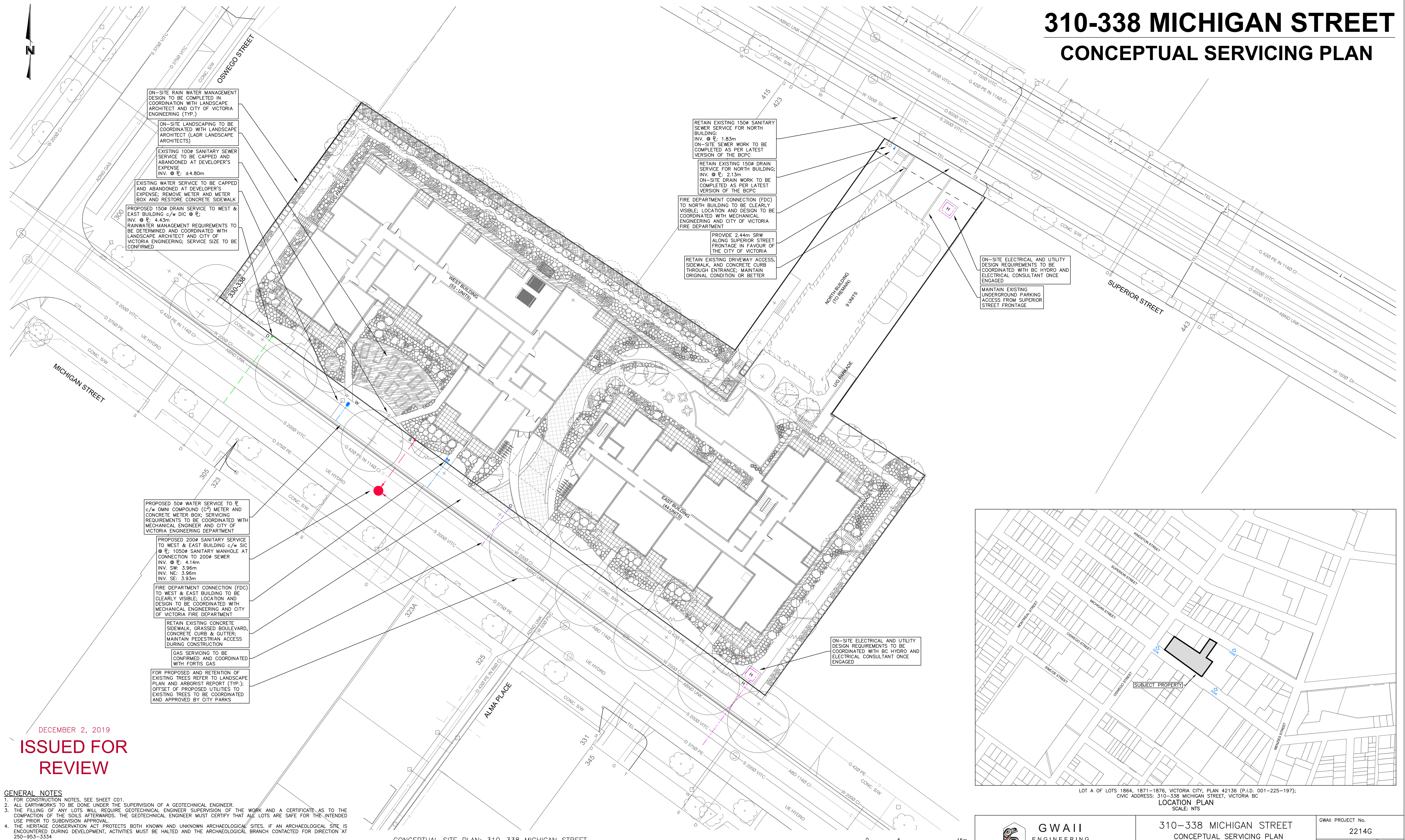
project name
Michigan St
 310-338 Michigan St. & 333 Superior St.
 Victoria BC

Shadow Studies

Copyright reserved: These plans and sections are and all their parts remain the property of de Hoog & Kierulff architects. No part of these plans may be reproduced without written consent.

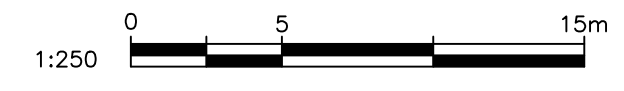
drawing no. **A506**

310-338 MICHIGAN STREET CONCEPTUAL SERVICING PLAN



LOT A OF LOTS 1864, 1871-1876, VICTORIA CITY, PLAN 42136 (P.I.D. 001-225-197);
CIVIC ADDRESS: 310-338 MICHIGAN STREET, VICTORIA BC
LOCATION PLAN
SCALE: NTS

CONCEPTUAL SITE PLAN: 310-338 MICHIGAN STREET
SCALE: 1:250



DECEMBER 2, 2019
ISSUED FOR REVIEW

- GENERAL NOTES**
- FOR CONSTRUCTION NOTES, SEE SHEET C01.
 - ALL EARTHWORKS TO BE DONE UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
 - THE FILLING OF ANY LOTS WILL REQUIRE GEOTECHNICAL ENGINEER SUPERVISION OF THE WORK AND A CERTIFICATE, AS TO THE COMPACTION OF THE SOILS AFTERWARDS. THE GEOTECHNICAL ENGINEER MUST CERTIFY THAT ALL LOTS ARE SAFE FOR THE INTENDED USE PRIOR TO SUBDIVISION APPROVAL.
 - THE HERITAGE CONSERVATION ACT PROTECTS BOTH KNOWN AND UNKNOWN ARCHAEOLOGICAL SITES. IF AN ARCHAEOLOGICAL SITE IS ENCOUNTERED DURING DEVELOPMENT, ACTIVITIES MUST BE HALTED AND THE ARCHAEOLOGICAL BRANCH CONTACTED FOR DIRECTION AT 250-953-3334.
 - RETAINING WALLS AND AREAS OF FILL ARE TO BE IDENTIFIED ON AS-BUILT DRAWINGS.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND - PROPOSED SERVICES SHOWN DASHED		EXISTING U/G UTL.		PROPOSED U/G UTL.	
WATER	—W—	MANHOLE	○	HYDRANT	⊕
SEWER	—S—	CLEANOUT	□	VALVE	◇
DRAIN	—D—	CATCHBASIN	▢	FLUSH VALVE	⊗
DITCH	—D—	SILTTRAP	⊠	AIR VALVE	⊕
SEWER	—S—	CONC. BOX	⊠	METER	○
GAS	—G—	ANCHOR	→	TREE	○
CURB	—C—	REDUCER	↔	MONUMENT	⊙
SIDEWALK	—S/W—	CAP	⊖	LOT PIN	•
EDGE PAVE.	—E/P—	CULVERT	⊖	LEAD PLUG	•
BUSHLINE	—B/L—	HEADWALL	⊖		
TREE	⊕	ROAD SIGN	▶		

REVISIONS		REVISIONS APPROVED			DESIGN APPROVED		
DESCRIPTION	REVISION # 1	REVISION # 2	REVISION # 3	EXCEPTIONS	APPROVED BY	DATE	SIGN
	APP. DATE SIGN	APP. DATE SIGN	APP. DATE SIGN				
4	DESIGN ENG. ASSIST. MUNICIPAL ENG.	DESIGN ENG. ASSIST. MUNICIPAL ENG.	DESIGN ENG. ASSIST. MUNICIPAL ENG.				
3							
2							
1							



310-338 MICHIGAN STREET
CONCEPTUAL SERVICING PLAN

GWAII PROJECT No. 2214G
SHEET 1 OF 1 REV.

CITY OF VICTORIA			
SITE PLAN			
B.M.	DESIGN CBB/JE	DRAWN CBB/JE	ELEV. CHECKED MJA/RJ
SCALES Hor. 1:250	Vertical N/A	DATE DEC-19	

DWG No. C01
CITY DWG No.
CITY FILE No.

Recommended Nursery Stock

Trees

Total:	Botanical Name	Common Name	Size
38	Acer circinatum	Vine Maple	6cm cal., 3 stem
	Acer rubrum 'Karpick'	Karpick Maple	6cm cal.
	Acer rubrum 'October Glory'	October Glory Red Maple	6cm cal.
	Malus fusca	Pacific Crabapple	6cm cal.
	Stewartia pseudocamellia	Japanese Stewartia	6cm cal.

Medium Shrubs

Total:	Botanical Name	Common Name	Size
207	Choisya ternata	Mexican Orange Blossom	# 7 pot
	Mahonia aquifolium	Tall Oregon Grape	# 5 pot
	Vaccinium ovatum	Evergreen Huckleberry	# 1 pot

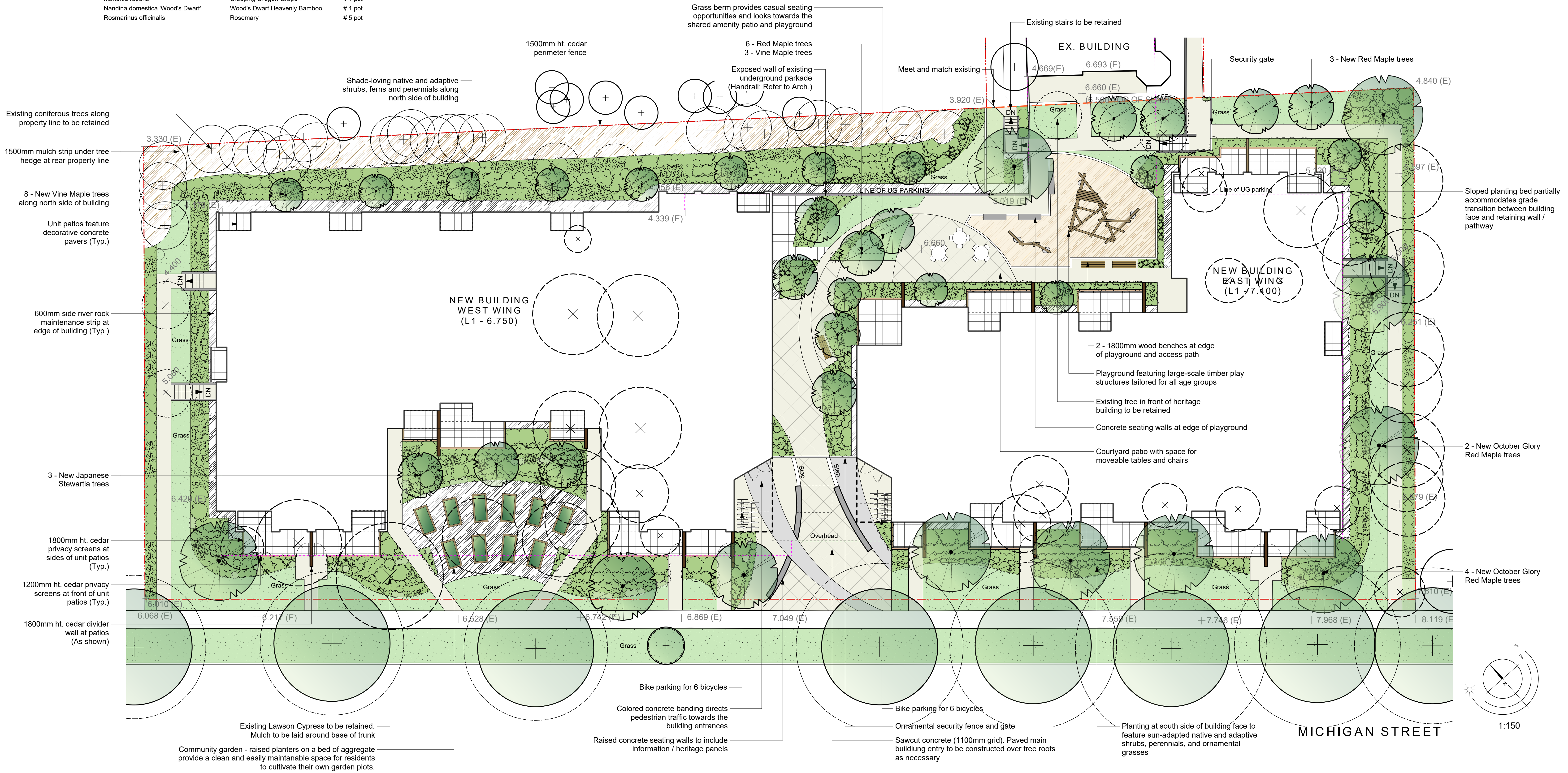
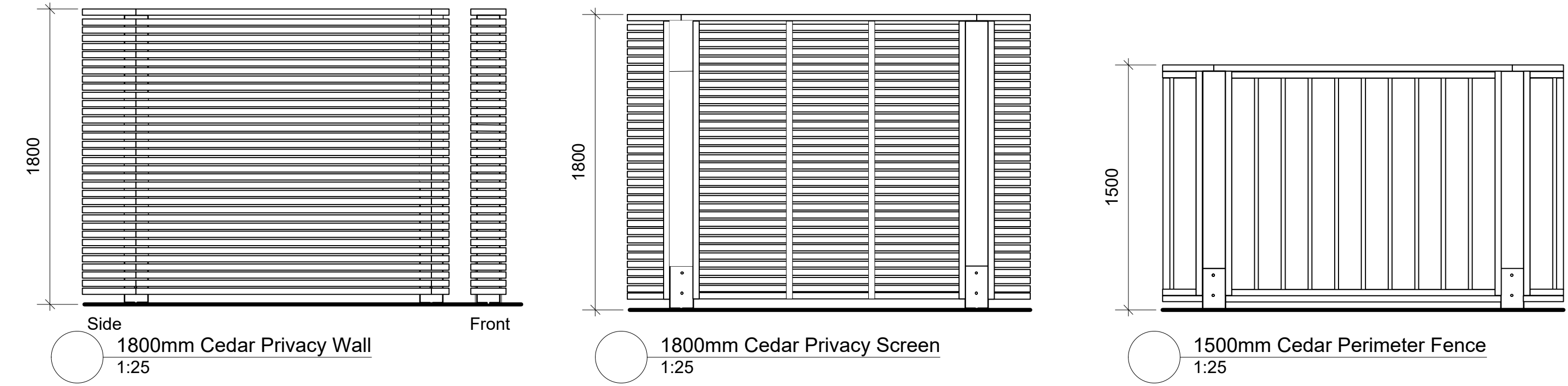
Small Shrubs

Total:	Botanical Name	Common Name	Size
1118	Gaultheria shallon	Salal	# 1 pot
	Lavandula officinalis	English Lavender	# 5 pot
	Mahonia nervosa	Low Oregon Grape	# 1 pot
	Mahonia repens	Creeping Oregon Grape	# 1 pot
	Nandina domestica 'Wood's Dwarf'	Wood's Dwarf Heavenly Bamboo	# 1 pot
	Rosmarinus officinalis	Rosemary	# 5 pot

Perennials, Annuals and Ferns

Total:	Botanical Name	Common Name	Size
674	Achillea millefolium	Common Yarrow	# 1 pot
	Crococsmia 'Babylon'	Babylon Montbretia	# 3 pot
	Echinacea purpurea	Purple Coneflower	# 1 pot
	Helictotrichon sempervirens	Blue Oat Grass	# 1 pot
	Leucanthemum x 'Becky'	Becky Shasta Daisy	# 1 pot
	Perovskia atriplicifolia	Russian Sage	# 1 pot
	Polystichum munitum	Sword Fern	# 3 pot

- Notes:**
 1. All work to be completed to current BC SLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system



310-338 Michigan St. | Landscape Concept Plan

Jun 25-20
Feb 3-20

Tree Legend:

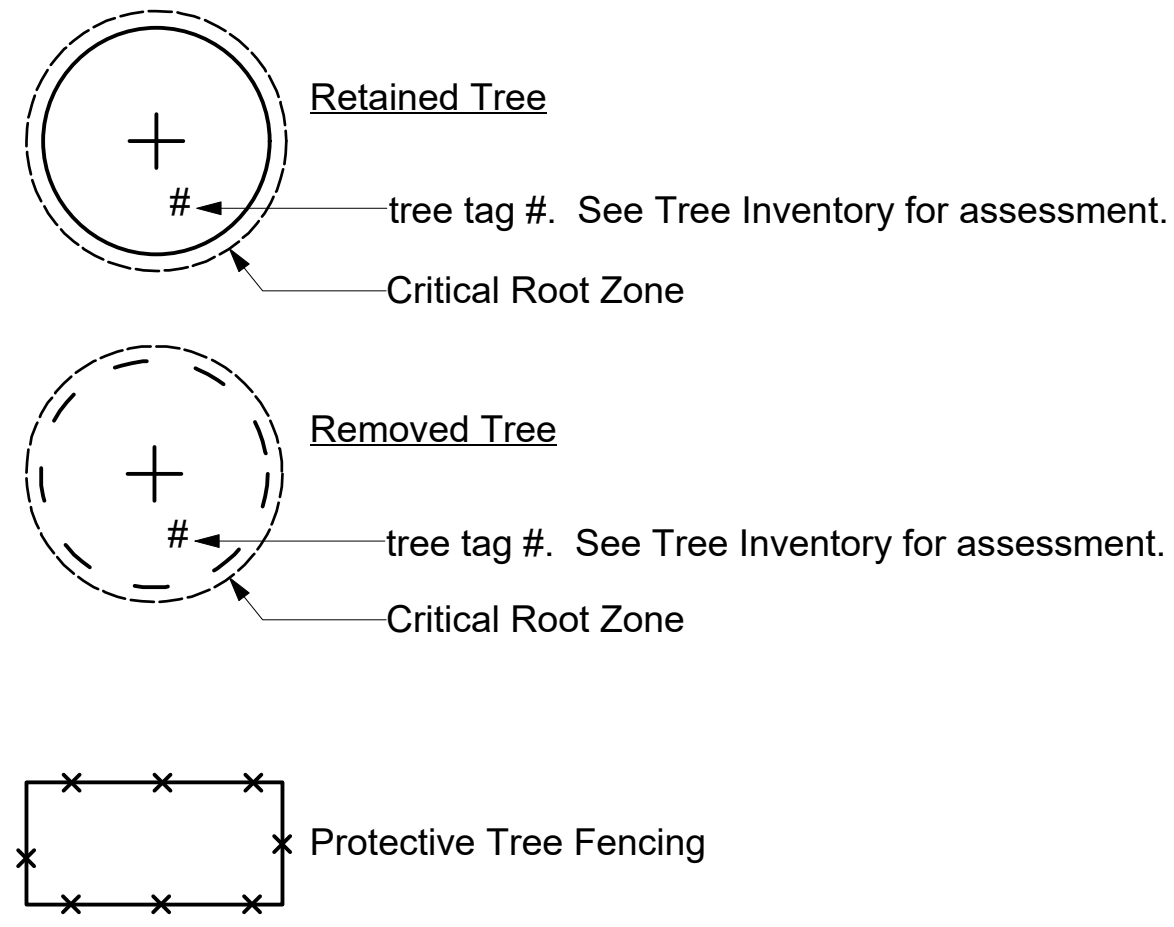


Table 1. Inventory of existing trees, Michigan Square - 330 Michigan Street, Victoria, BC (DTS 03.25.19)

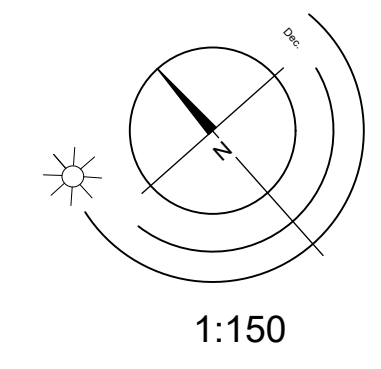
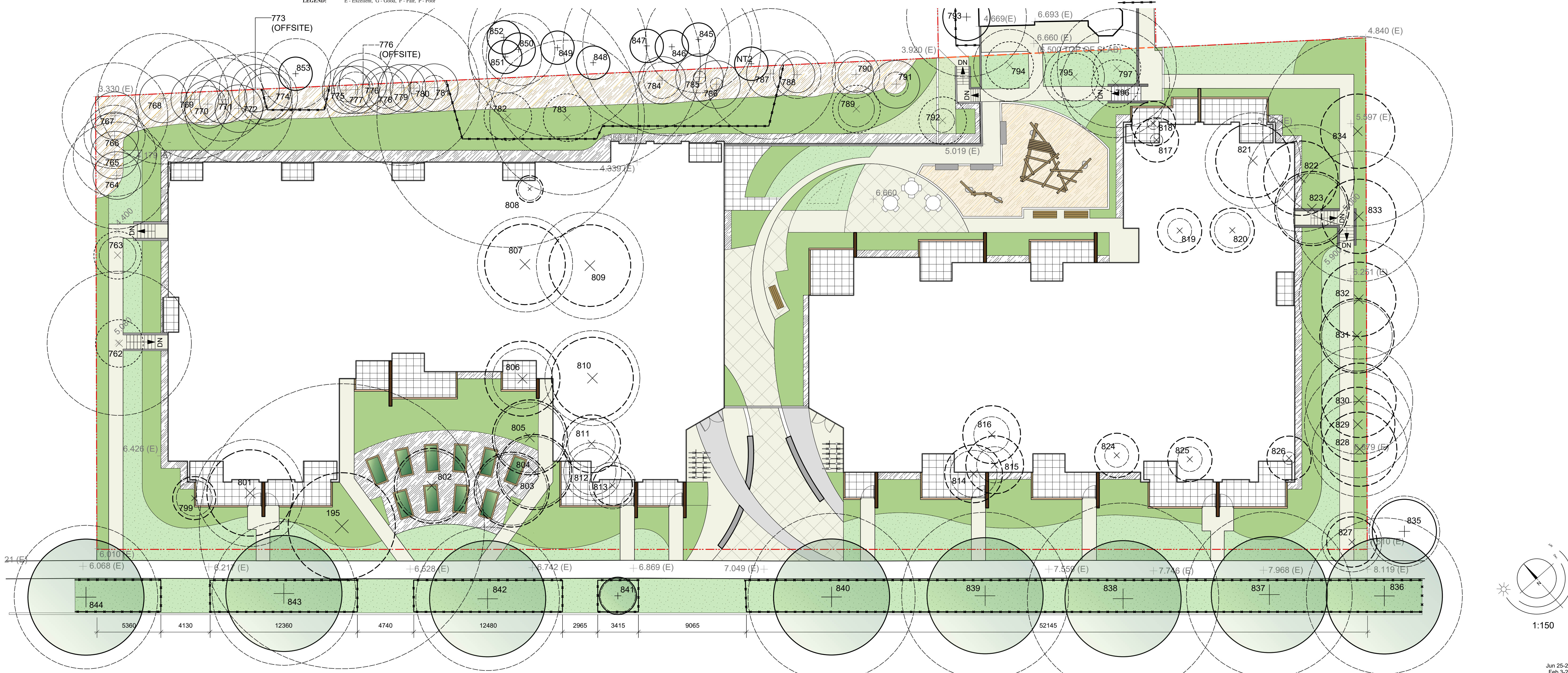
Tree No.	Species	DBH (cm.)	Health	Canopy	Roots	Other	Comments
762	Douglas fir, <i>Pseudotsuga menziesii</i> (Pm)	39	G	G	G		- soil at property line was excavated for neighboring building several years ago. Tree is approx. 2 m away
763	Norway maple, <i>Acer platanoides</i> (Ap)	13	G	G	G		- soil at property line was excavated for neighboring building several years ago. Tree is approx. 2 m away
764	Hemlock, <i>Tsuga heterophylla</i> (Th)	31	G	G	G		- soil at property line was excavated for neighboring building several years ago. Tree is approx. 2 m away
765	Th	23	F	F	F		- soil at property line was excavated for neighboring building several years ago. Tree is approx. 2 m away - cankers have developed with exuding resin from old branch collars in lower trunk
766	Th	16	F	F	F		- soil at property line was excavated for neighboring building several years ago. Tree is approx. 2 m away - tree is heavily suppressed
767	Th	28	G	G	G		- cankers on old branch collars in lower trunk - soil at property line was excavated for neighboring building several years ago. Tree is approx. 2 m away - cankers on old branch collars in lower trunk
768	Lawson cypress, <i>Chamaecyparis lawsoniana</i> (Cl)	35	G	G	G		- within 1 m of property line
769	Cl	34	G	G	G		- tree is dead
770	Plum, <i>Prunus spp.</i>	12	-	-	-		- suppressed and 1 m from property line
771	Cl	22	F	F	F		- within 2 m of property line
772	Th	29	G	G	G		- at property line
773	Hawthorne, <i>Crataegus spp.</i>	28	F	F	F		- 70% enveloped by Ivy

Table 1. continued

Tree No.	Species	DBH (cm.)	Health	Canopy	Roots	Other	Comments
774	Th	15	F	F	F		- 1 m from property line
775	Japanese maple, <i>Acer palmatum</i> (Apal)	4,4,4,5	F	F	F		- suppressed - planted together with ID No. 776 - 0.5 m from property line
776	Apal	7,6	F	F	F		- 5 cm stem died back to 1.5m in height - planted together with ID No. 775 - 0.5 m from property line
777	Ap	21	G	G	G		- suppressed - at property line - wire fencing girdling entire circumference at approximately 2 m high
778	Th	10	F	F	F		- suppressed and growing through canopy of tree ID No. 779 - 0.5 m from property line
779	Plum, <i>Prunus spp.</i>	53	G	G	G		- 30 cm. from property line
780	Th	4	P	P	P		- heavily suppressed by tree ID No. 779 - 0.5 m from property line
781	Th	5	F	F	F		- heavily suppressed by tree ID No. 779 - 0.5 m from property line
782	Western red cedar, <i>Thuja plicata</i> (Tp)	55,31	G	G	G		- north side suppressed by neighbour's D.fir
783	Cl	42	P	P	P		- cavity at ground level extending up 60 cm showing extensive decay - top is very weak, 2 co-dominant tops have died - dieback 20%

Tree No.	Species	DBH (cm.)	Health	Canopy	Roots	Other	Comments
784	Th	11	F	F	F		- 1 m from property line
785	Unknown spp. (wait for leaf flush to identify)	4	P	P	P		- heavily suppressed by neighbours' trees - 0.5 m from property line
786	Unknown spp. (wait for leaf flush to identify)	4, 2	F	F	F		- heavily suppressed by neighbours' trees - 1.5 m from property line
787	Pm	38	F	F	F		- heavily suppressed by neighbours' trees - 0.5 m from property line
788	Weeping birch, <i>Betula spp.</i> (Bs)	14	F	F	F		- asymmetrical, previously suppressed
789	Bs	10	F	F	F		- malpruned
790	Bs	14	F	F	F		- DBH taken just below graft union; - malpruned
791	Locust, <i>Robinia spp.</i> (Rs)	11	G	F	G		- 1 m from property line - union between 2 main stems at 3 m high has included bark
792	Rs	9	F	F	F		
793	Pine, <i>Pinus spp.</i>	51	G	G	G		- 0.5 m from Superior Street building and 2.5 m from retaining wall lowering grade to neighbours.
794	Apal	22	F	F	F		- diameter at breast height taken below co-dominant stems; 20% dieback
795	Magnolia, <i>Magnolia spp.</i>	14, 14	G	G	G		- asymmetrical
796	Hornbeam, <i>Carpinus betulus</i> (Cb)	37	G	G	G		- DBH taken below lowest co-dominant stems - limited root zone, planted in concrete planters - planted with tree ID No. 797
797	Cb	43	G	G	G		- DBH taken below lowest co-dominant stems

LEGEND: E - Excellent, G - Good, F - Fair, P - Poor



310-338 Michigan St. | Tree Preservation Plan

Jun 25-20
 Feb 3-20
 Jun 12-19
 May 30-19